



## Masten Park Existing Conditions



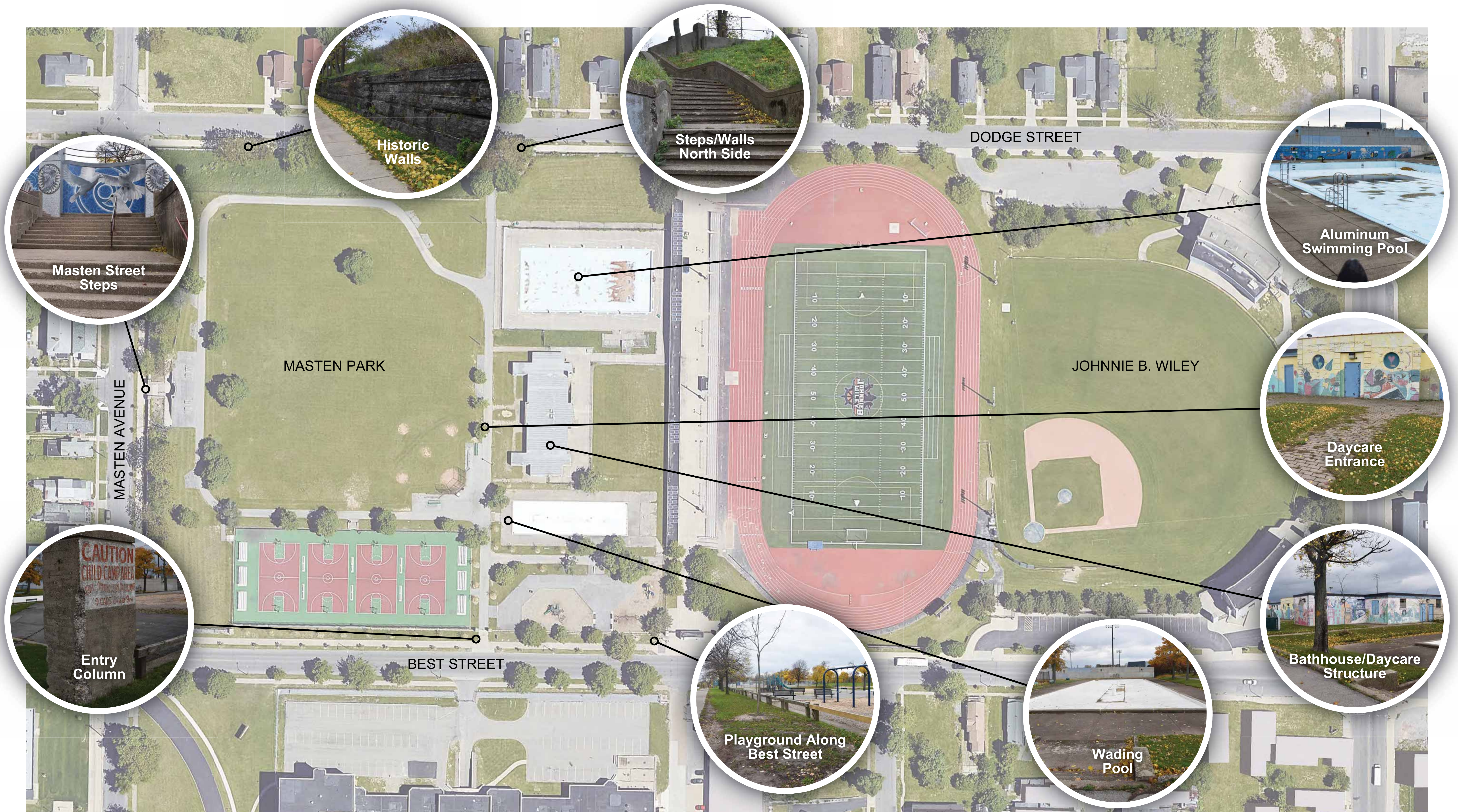


# Masten Park

Proposed Improvements Viewed from Best Street



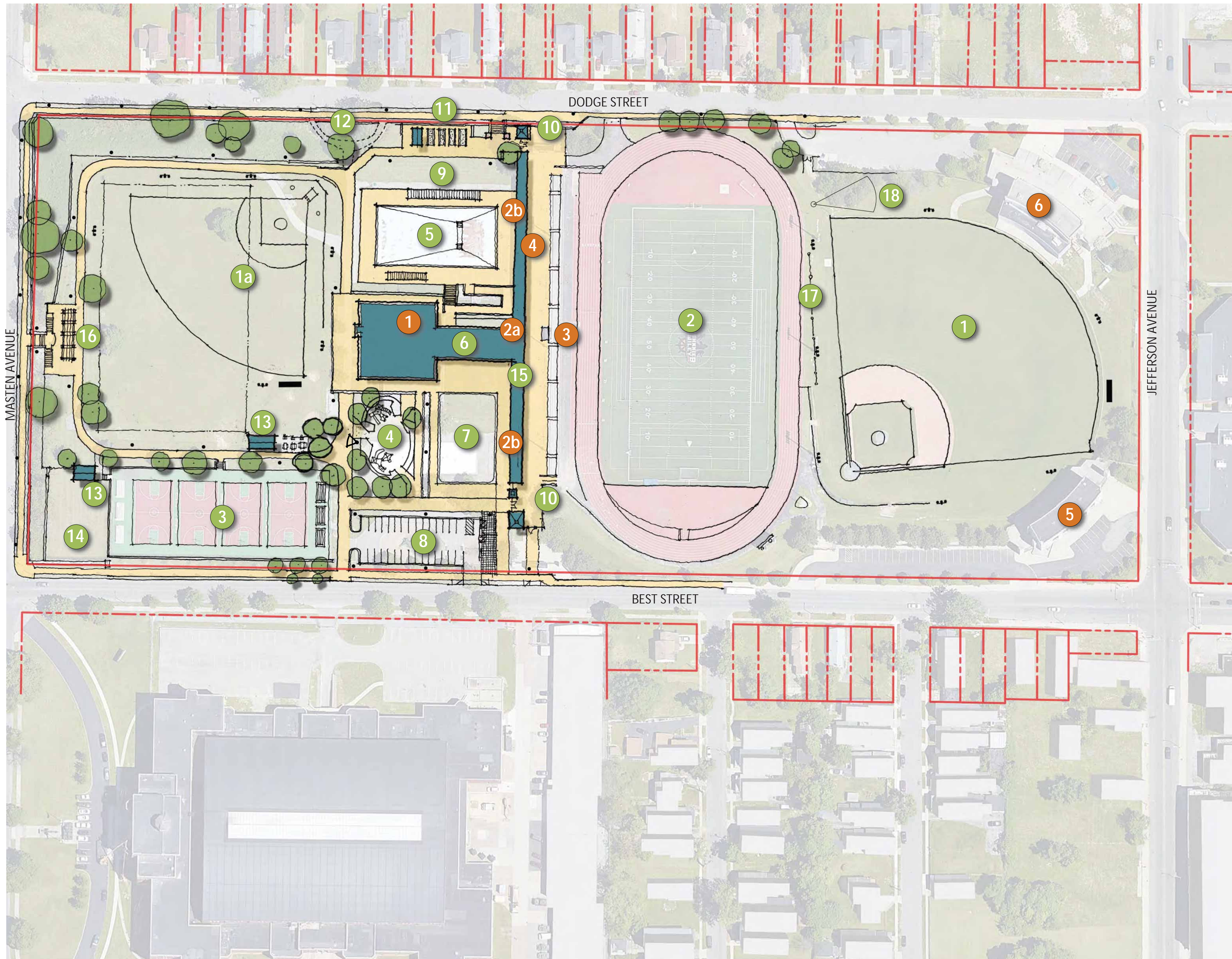
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# JBW / Masten Park

Site Inventory & Analysis





## SITE LEGEND:

- |    |   |    |                          |
|----|---|----|--------------------------|
| 1  | Baseball Field (Synthetic Turf)                   | 9  | Open Space               |
| 1a | Softball Field                                    | 10 | New Entrance Gates       |
| 2  | Existing Multi-purpose Field (New Synthetic Turf) | 11 | Community Gardens        |
| 3  | Existing Basketball Courts                        | 12 | Demolish Existing Stairs |
| 4  | Playground  | 13 | Shelter                  |
| 5  | Pool  | 14 | ADA Compliant Fitness    |
| 6  | New Building                                      | 15 | Locker Room Expansion    |
| 7  | Splash Pad  | 16 | Trellis Structure        |
| 8  | Parking   | 17 | High Screen              |
| ●  | Pathway Lighting                                  | 18 | Shot-put                 |
| ⦿  | Field Lighting                                    |    |                          |
| —  | Scoreboard  |    |                          |
| ▽  | Security Camera                                   |    |                          |

- |    |   |
|----|---|
| 1  | Demolish entire building.   |
| 2a | Complete renovation of concession stand. Possible expansion into locker rooms.  |
| 2b | Renovate to provide: new entry to expanded locker room, referee locker room, training room  |
| 2c | Renovate locker room into public toilets. Womens: 8 WC, 8 LAV. Mens: 5 WC, 5 URINALS, 8 LAV   |
| 3  | Replace press box. Capacity for 10 people   |
| 4  | Repair damaged facade, paint entire facade, and replace roof.   |
| 5  | Restore ticket booth to original condition. Renovate 1st Floor to be a museum for old rock pile. Renovate 2nd & 3rd Floors to be boxing training area. Include elevator, locker rooms, toilet rooms, reconfigure stair tower replacement. |
| 6  | Renovate 1st & 2nd Floors. Add technology upgrades throughout entire building. Roof replacement.  |

# JBW / Masten Park

Schematic Design



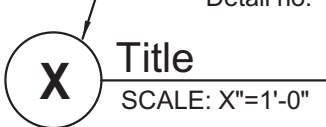
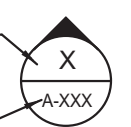
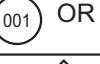


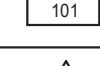
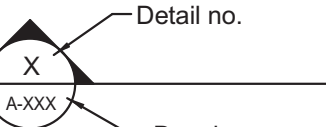
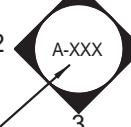

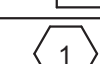
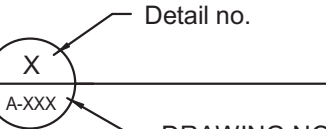
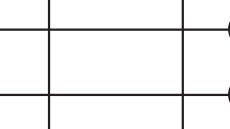
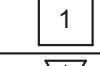
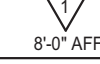

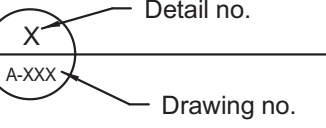

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DRAWING LIST - JBW/MASTEN PARK




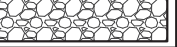


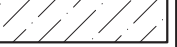

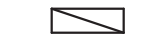






<b>General</b>	
G-001	General Notes, Legends & Drawing List
<b>Landscape</b>	
L-000	Existing Conditions/ Survey (West)
L-001	Existing Conditions/ Survey (East)
L-002	Demolition Plan
L-101	Site Layout Plan (West)
L-102	Site Layout Plan (East)
<b>Civil</b>	
C-101	Grading, Drainage & Utility (West) Plan
C-102	Grading, Drainage & Utility (East) Plan
<b>Architectural</b>	
A-101	Service Building - First Floor Demolition Plan
A-102	Service Building - First Key Plan & Part C
A-103	Service Building - First Floor Plan - Part B
A-104	Service Building - Elevations - North & East
A-105	Service Building - Elevations - South & West
A-106	North Tower - Demolition Plan and New Work Plan
A-107	South Tower - Demolition Plan and New Work Plan
<b>Plumbing</b>	
PD-101	Plumbing First Floor Plan Area B-Removal
P-101	Plumbing First Floor Plan Area C & D
P-102	Plumbing First Floor Plan Area B
<b>Electrical</b>	
E-101	Electrical Site Plan
E-102	Electrical Site Plan

CMU SERIES PARTITIONS

C6	5 5/8"	6" CMU WITH HORIZONTAL REINFORCING AT 16" O.C. (VERT.)
C8	7 5/8"	8" CMU WITH HORIZONTAL REINFORCING AT 16" O.C. (VERT.)
C12	11 5/8"	12" CMU WITH HORIZONTAL REINFORCING AT 16" O.C. (VERT.)

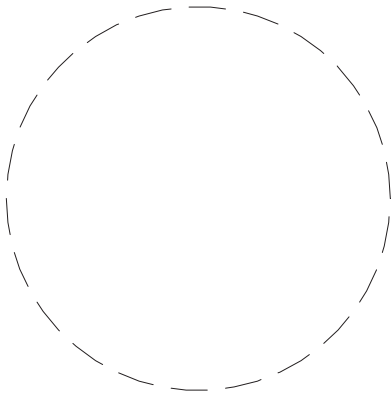
<b>Drawing symbols</b>		
View title 	Exterior elevation 	 OR  Door numbers  Window type  Room number
Building / wall section cut 	Interior elevations 	 Revision  Partition type
Detail section cut 	Structural grid 	 Plan key note  Demolition key note  Ceiling type and height
Detail - blow up 	Accessibility  V/HAU Visual / hearing accommodation unit Accessible unit	

Material symbols

	Undisturbed earth		Steel - large scale (Other metals as noted)		Batt insulation
	Gravel or crushed stone		Steel - small scale (Other metals as noted)		Rigid insulation
	Stone		Wood framing (continuous)		Wood blocking (intermittent)
	Concrete		Finish wood		
	Concrete masonry unit		Plywood		
	Brick		Gypsum, sand, mortar		

Architectural / Structural abbreviations

AB Anchor bolt	DWV Drainage waste & vent	LH Left hand, Latent heat	RF Resilient flooring
A/C Air conditioner (ed)	DWG Drawing	LN Linear	RFG Roofing
ACC Accessible	DWL Dowel	LKR Locker	RH Right hand, Roof hatch
ACCU Air cooled condensing unit	E East	LL Live load	RM Room
ACI American Concrete Institute	EA Each	LLH Long leg horizontal	RO Rough opening
ACT Acoustical ceiling tile	EBCNYS Existing Building Code of New York State	LOC Location	ROW Right of way
ACM Asbestos containing material	EC Electrical contractor	LTD Load & resistance factor design	RTU Roof top unit
ACOUS PNL Acoustical panel	EF Each face	LTI Lift	RV Roof vent
ACS PNL Access panel	EFS Exterior finish and finish system	LUG Light	RWB Rubber wall base
ADDL Additional	EJ Expansion joint	LTG Lighting	S South
ADJ Adjustable, adjacent	ELAS Electronic	LWC Light-weight concrete	SAB Sound attenuation batts
ADH Adhesive	EL Elevation	MACH Machine	SAN Sanitary
AFB Above finished floor	ELEC Electrical(s)	MAINT Maintenance	SC Solid core, Shading coefficient
AGGR Aggregate	ELSV Elevator	MAS Masonry	SCHED Schedule
AHU Air handling unit	EM Entry mat, Expanded metal	MATL Material	SEAL Sealer on floor (finish)
AISC American Institute of Steel Construction	EMER Emergency	MAX Maximum	SECT Section
AISI American Iron and Steel Institute	ENCL Enclosure	MC Mechanical contractor	SF Square foot, Safety factor
ALT Alternate	ENGR Engineer	MCB Metal corner bead	SFRM Sprayed fire-resistive
ALUM Aluminum	EOS Edge of slab	MCD Medium density overlay	SGT Structural glazed tile
ANOD Anodized	EP Electric panel	MDF Medium density fiberboard	SHR Shower
APPROX Approximate	EQ Equal	MECH Mechanical	SHM Similar
ARCH Architectural	EQUIP Equipment	MEP Mechanical, electrical, plumbing and fire protection	SP Standpipe, Sump pit
ARD Auxiliary roof drain	ESS Emergency shower	MEZZ Mezzanine	SRA Sprinkler
ASD Allowable stress design	ETC Etc others	MFR Manufacturer	SPK Speaker
ASTM American Society for Testing and Materials	ETR Existing to remain	MH Manhole	SPC Specification
AWP Acoustical wall panel	EW Each way	MM Millimeter	SQL Square
AWS American Welding Society	EWVC Electric water cooler	MIFRC Mastic/fluorescent fire-resistive coating	SRD Secondary roof drain
BAT Batfen	EXIST Existing	MIN Minimum	SS Service sink
B/B Back to back	EXC Excavation, Excavate	MISC Miscellaneous	SSS Solid surface material
B BD Base board	EXP Expand, Expansion	MLWK Millwork	SST Stainless steel pipe
B/CNYS Building Code of New York State	EXT Exterior, External, Extinguisher	MO Masonry opening	STA Station
BTUM Blumious	F/F Face to face	MRK BD Marker board	STD Standard
BLDG Building	FACF Fire alarm annunciator panel	MTD Metal	STC Sound transmission class
BLKG Blocking	FACP Fire alarm control panel	MTL Metal	STIFF Stiffener
BM Beam, Benchmark	FDN Foundation	MULL Mullion	STL Steel
BOT Bottom	FE Fire extinguisher	NAT Natural	STR Storage
BR Bedroom	FEC Fire extinguisher cabinet	NCCOMBL Noncombustible	STRUT Structural
BRG Bearing	FHC Fire hose cabinet	NIC Not in contract	SUSP Suspended
BRZ Bronze	FIN Finished	NO OR # Number	SV Sheet vinyl
B/SMT Basement	FIS Future	NOM Nominal	SV Square yard
BTWN Between	FLASH Flashing	NORM Normal	T Tread
BW Both ways	FLUR Fluorescent	NTS Not to scale	TI Top of
CCTV Closed circuit television	FLG Flooring, flange	NWC Normal weight concrete	T&B Top and bottom
CAB Cabinet	FO Out to foot	NS Normal weight concrete	T&G Tongue and groove
CB Catch basin, Corner bead	FP Fire protection, Fireproof	OA Overall, Outside air	T&L Telephone
CH BD Chalkboard	FC On center	OF Overall, Outside air	THRES Threshold
CEM Cement	FTW Foot, Feet	OF Office	TDAP Temporary
CF Contractor furnished	FTG Footing	OFD Office	TER Terrace
CFMF Cold-formed metal framing	FR Finer tube radiation	OFI Owner furnished, Contractor installed	THK Thickness
CFICI Contractor furnished/ Contractor installed	FURN Furnace, Furniture, Furnish	OFI Owner furnished, Owner installed	TH BD Tack board
CFICI Contractor furnished/ Owner installed	FUT Future	OFD Overflow drain	TMPD Tempered
CG Corner guard	FWC Fabric wall covering	OFD Office	TOC Top of concrete
CH Cast hook	GA Gage	OHDR Overhead (ceiling) door	TOM Top of masonry
CI Cast iron	GALV Galvanized	OP Opposite	TOPO Topography, Topographic
CIP Cast in place, Cast iron pipe	GB Grab bar	OPP Opposite	TOS Top of steel
CJ Control joint	GC General contractor	OPT Optional, Optimum	TOW Top of wall
CL Centerline	GFRG Glass fiber reinforced concrete	OS On	TPO Told paper dispenser
CLG Ceiling	GFRG Glass fiber reinforced gypsum	PA Public address	TSTAT Thermostat
CLO Closet	GL Glass, Ground level	PB Parallelogram	TV Television
CLR Clear, Color	GLB Glass block	PC Plumbing contractor, Portland cement	TYP Typical
CMT Ceramic mosaic tile	GLU Glued laminated beam	PCC Precast concrete	U Heat transfer coefficient
CMU Concrete masonry unit	GR Grate, Gross	PCT Porcelain ceramic tile	UC Undercut
CNTR Counter	GWT Glazed wall tile	PED Pedestal	UCL Under cabinet lighting
CNIC Concrete	GYP Gypsum	PEN Pendant	UG Undergrround
CONF Conference	GYP BD Gypsum board	PER Period	UH Unit heater
CONJ Connection	GYP PLAS Gypsum plaster	PERF Perforated	UL Underwriter's laboratories
CONSTR Construction	HB Hose bibb	PGBD Peg board	UNEX Unexcavated
CONT Continuous	HC Hollow core, Hose cabinet	PL Plate, Property line	UNFIN Unfinished
CONTR Contractor	HCP Handicapped	PLF Ponds per linear foot	UNLN Unless otherwise noted
COORD Coordinate	HW Hardware	PLM Plastic laminate	UV Unit ventilator
CPT Carpet	HWD Hardwood	PLB Plumbing	VANR Vanished
CSJ Construction joint	HMI Hollow metal	PLWD Plywood	VB Vinyl base
CSK Counter sink	HO Hollow core, Hose cabinet	PL Panel	VCT Vinyl composition tile
CT Ceramic tile, Count, Current transformer	HORIZ Horizontal	POL Polished	VENT Ventilation
CTR Center	HT Height	POS Positive, Position	VERT Vertical
CW Cold water piping, Casement window	HSS Hollow structural section	PR Height	VEST Vestibule
CU Cubic yard	HTG Heating	PREFAB Prefabricate	VIF Verify in field
CU VD Cabinet unit heater	HTRF Heating, ventilating and air conditioning	PREP Preparation	VIN Volume
D Deep, Depth	HVAC Heating, ventilating and air conditioning	PROJ Projection screen	VOL Volume
DB Bar diameter	HYD Hydraulic	PSF Pounds per square foot	VR Vapor retarder
DBL Double	ID Inside diameter	PSI Pounds per square inch	V SHT Vinyl sheet
DEFS Direct-applied exterior finish system	ID Inside diameter	PT Paint, Post tension	W Vinyl wall covering
DEG Degree	INCL Included	PT Partition	W/W Water closet, Wall covering
DEMO Demolition	INCCAND Incandescent	PVC Polyvinyl chloride (plastic)	W/W Without
DEPT Department	INFO Information	PVG Paving	WO Wood
DET Detail	INSUL Insulation	QTY Quantity	WDW Window
DI Drinking fountain	INTERM Intermediate	QTY Quantity	WF Wide flange
DIA OR d Diameter	INT Interior	R Riser, Radius, Thermal resistance	WG Wood guard
DIAG Diagram, Diagram	JAN Janitor	RB Rubber base, Resilient base	WH Water heater
DIM Dimension	JST Joint	RCB Reinforced concrete pipe, Reflect ceiling plan	WI Wrought iron
DIFF Diffuser	KIP 1000 Pounds	RD Roof drain, Road	WM Wire mesh
DIV Division	KIT Kitchen	REFL Reflect	WP Waterproofing, Working point
DMPF Damp proofing	KPL Kick plate	REG Register, Regulation	WR Water resistant, weather-resistant
DL Dead load	LAM Lateral	REIN Reinforced	W RECEPT Waste receptacle
DN Down	LAJ Laundry	REIN Reinforced	W SHT Vinyl sheet
DO Ditto	LB Pound	RESIL Resilient	W/W Water closet, Wall covering
DOX Drive	LD Load	REV Revision	W/W Without
DS Downspout	LF Linear feet (foot)		W/W Without
DW Dishwasher			W/W Without



Drawn By: Author  
Checked By: Checker  
Project Manager: DP

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Revisions

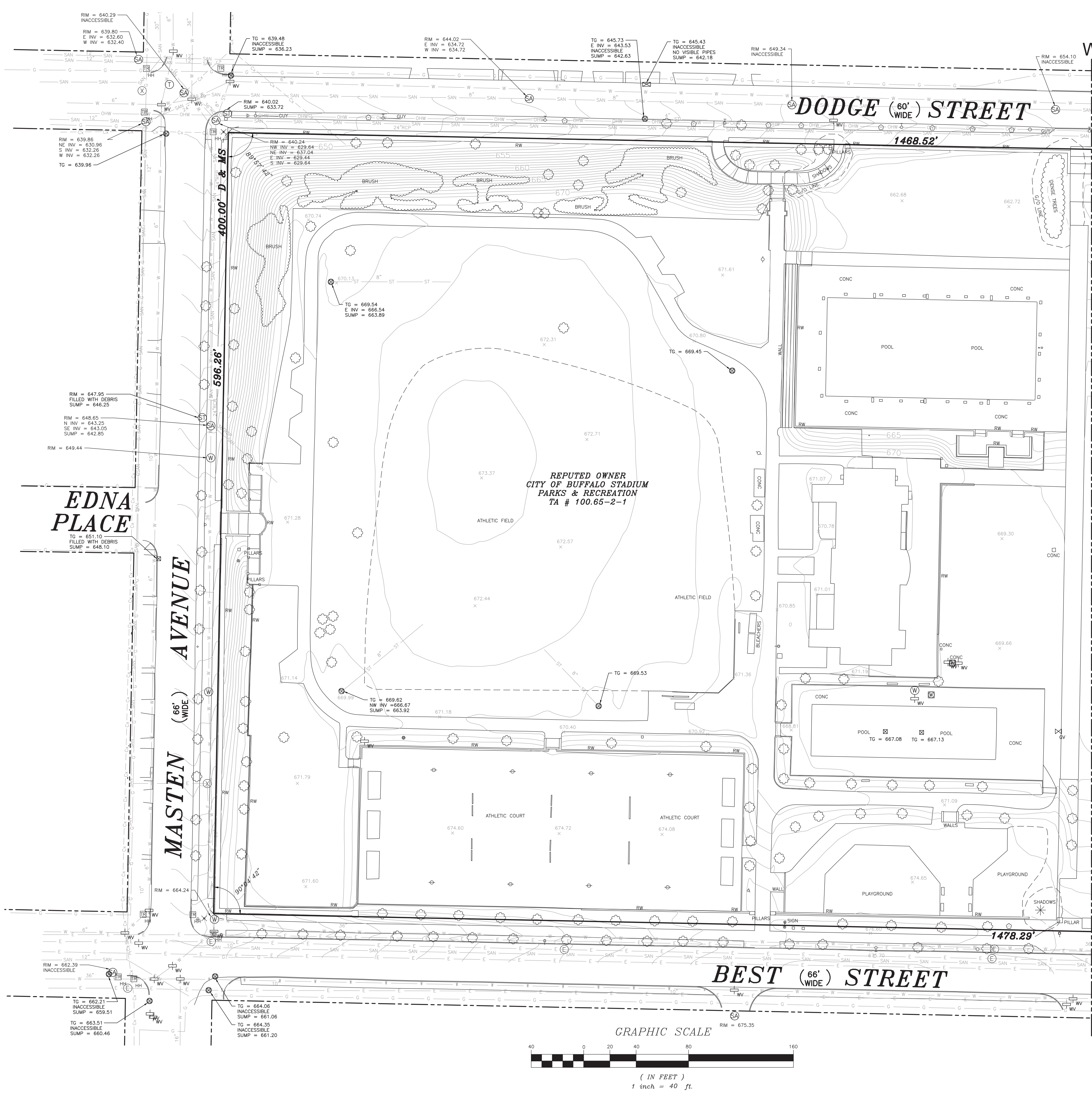

City of Buffalo Parks & Buffalo  
Public School Facilities Survey &  
Design Development  
SWBR Project Number 18630.00

Community Foundation for  
Greater Buffalo  
726 Exchange Street, Suite 52  
Buffalo, NY 14210

G-001

General Notes,  
Legends & Drawing  
List

3.29.2019  
Design Development



VICINITY MAP

NOTES:

MAPPING COMPILED BY PHOTOGRAMMETRIC METHODS FROM AERIAL PHOTOGRAPHY FLOWN DECEMBER 2018  
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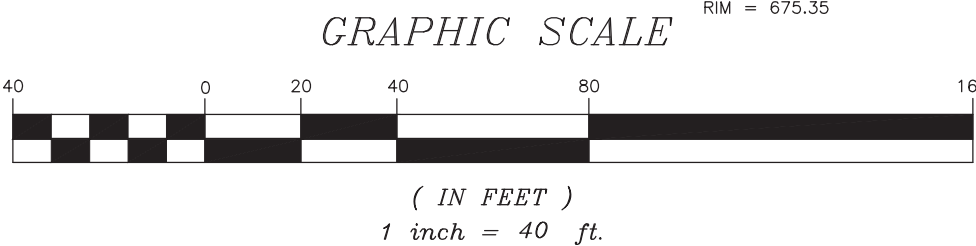
UTILITY COMPANY / AGENCY	FACILITY	RESPONDED	AFFECTED
BUFFALO SEWER AUTHORITY	SEWER	YES	YES
CITY OF BUFFALO WATER AUTHORITY	TRAFFIC SIGNAL & PHONE	YES	YES
CITY OF BUFFALO WATER AUTHORITY	WATER	YES	YES
DOT REGION 5 BUFFALO	TRAFFIC	YES	YES
NATIONAL FUEL GAS BUFFALO	GAS	YES	YES
NATIONAL GRID/WEST/ELECTRIC	ELECTRIC	YES	YES
TIME WARNER CABLE - BUFFALO	FIBER AND CABLE	YES	YES
VERIZON BUFFALO	FIBER AND PHONE	YES	-

LEGEND

EDGE OF PAVEMENT	POOL	PILE
GUARDRAIL	BUILDING UC	GOLF FAIRWAY
TREELINE	FOUNDATION	UNDER CONSTRUCTION
FENCE_GATE	RUINS	RUNWAY
RIVER	MARSH OUTLINE	AIRFIELD PAVED
HEDGE	POND, LAKE	AIRFIELD SHLDR
DIRTROAD	PAVED GUTTER	AIRFIELD PAINT
HEADWALL	DAM	HELICOPTER PAD
BUILDING (RES.)	PIPE END	ABANDONED RR
MISCLINE	CEMETERY	PAVED PARKING
RETAINING WALL	RECREATION UNPAV	UNPAVED PARKING
CURB	TANK	AERIAL TC BOX
INDEX	RECREATION PAVED	PIPE
OBS_INDEX	TRAIL	AIR VENT
INTER	BUILDING (MISC)	HEAT PUMP / AC
OBS_INTER	CREEK	VALVE
INDEXD	SOFTBREAK	LANDSCAPE
OBS_INDEXD	HARDBREAK	END EXP JOINT
INTERD	OBSCURED_AREA	ROAD CENTERLINE
OBS_INTERD	UNPAVED SHOULDER	UTILITY BOX
SIDEWALK	BUILDINGS (TEMP)	GREENS
DECK	CANOPY	TRAPS_BUNKERS
STEPS	FENCE_GATE	TEES
GRID (w/text)	PHONE	INDEFINITE AREA
RR	GUY	CULTIVATED FIELD
SIGN/OH_SIGN	RAMP	DOCK
ROAD_PAINT	SMOKE	BRIDGE ROAD
PKG_PAINT	OH_PIPE	BRIDGE CURB
TRAVELWAY	OH_WALK	BRIDGE SIDEWALK
PAVED_DRIVE	CONVEYOR	MID_EXP_JOINT
UNPAVED_DRIVE	LANDFILL	BRIDGE-BREAK
BRUSH	OPEN_STORAGE	OBSCURED BREAK
CONTEXT		
BRIDGE		
MAPPING_LIMITS		
SLAB_CONCRETE		
WALL		

SYMBOLS

□ CB	○ ROUND	✱ HANDI-CAP
□ SQUARE	○ CB	• VALVE
□ CB	✱ FIREHYD	• FLAG
□ DI	✱ SWAMP	• UNOB
✱ DECIDUOUS BUSH	✱ PWRPOLE	□ RAILSIG
✱ CONIFEROUS BUSH	✱ TOWER (LINE)	△ RAILSW
✱ TC	✱ CULY (LINE)	□ TRABOX
✱ MH	✱ CEMETERY	□ RUNLIGHT
• LAMPOST	✱ AC or HEAT PUMP	• TAXLIGHT
✱ DECIDUOUS TREE	✱ POLES (MISC)	• TRASIG
✱ CONIFEROUS TREE	✱ DTM SPOT	• TREEBOLE
• SIGN	✱ OBS DTM SPOT	• MB
• POST	• ANTENNA	• VERT
○ 0.0 SPOT	• SAT.DISH	• HOR
	— GUY (LINE)	• HV



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Drawn By: HC  
Checked By: DLP  
Project Manager: DLP

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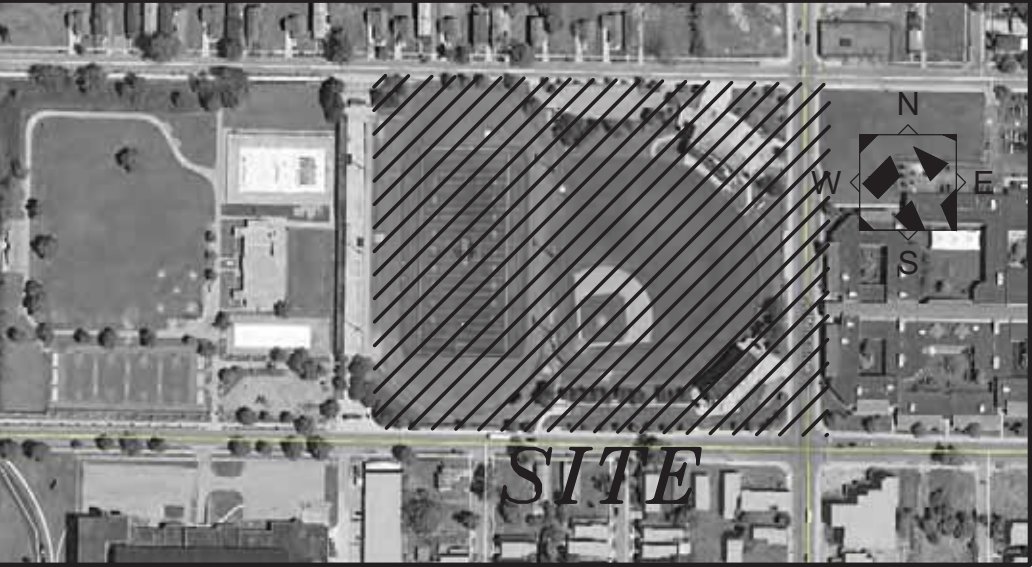
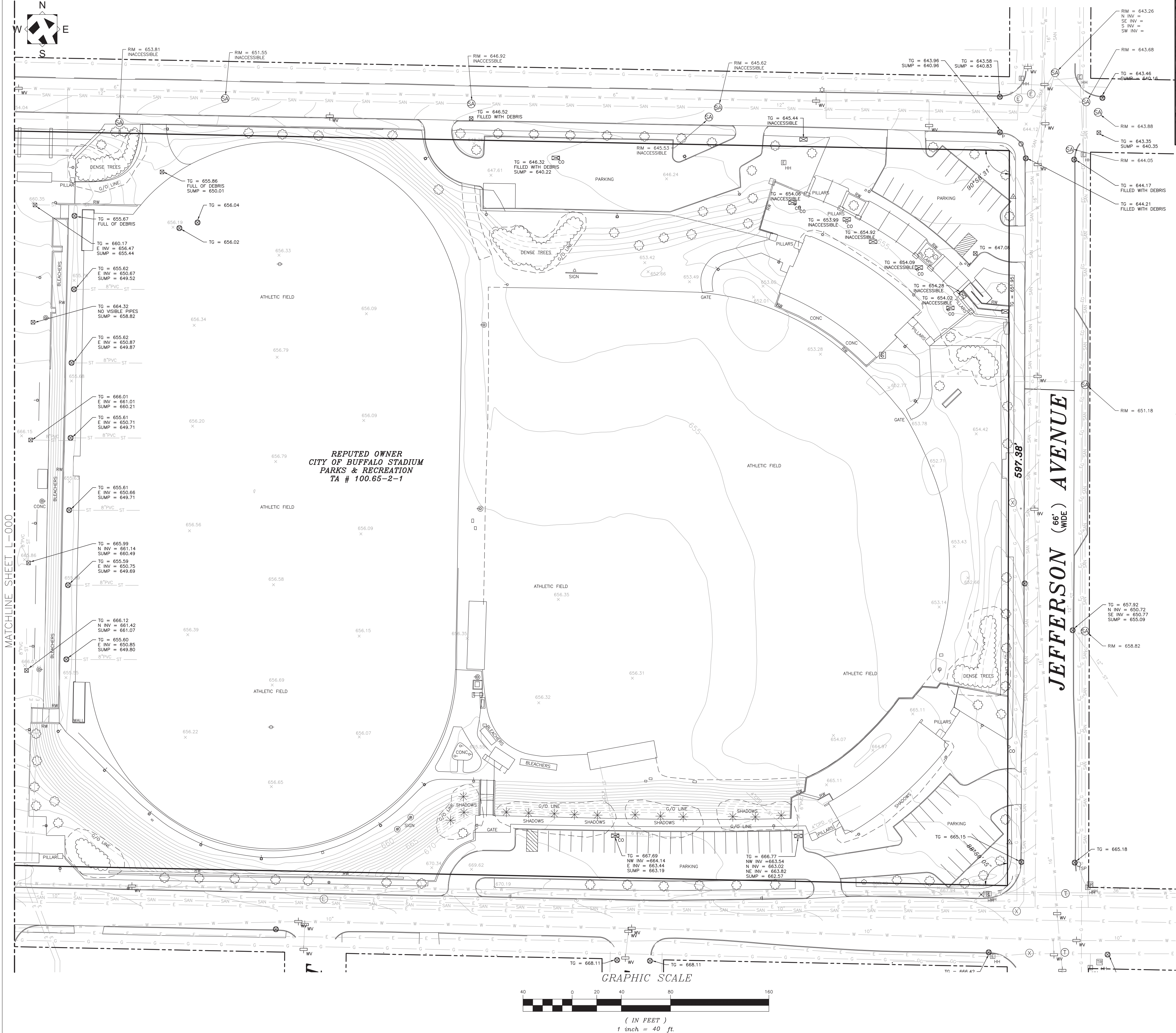
Community Foundation for  
Greater Buffalo  
726 Exchange Street, Suite 525  
Buffalo, NY 14210

L-000

JBW / Masten

Existing  
Conditions/Survey (West)

03.29.2019  
Design Development Set



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THE FOLLOWING UTILITY COMPANIES WERE REQUESTED TO PROVIDE THE SURVEYOR THE LOCATION OF THEIR UNDERGROUND FACILITIES WITHIN THE LIMITS OF THIS SURVEY.

UTILITY COMPANY / AGENCY	FACILITY	RESPONDED	AFFECTED
BUFFALO SEWER AUTHORITY	SEWER	YES	YES
CITY OF BUFFALO	TRAFFIC SIGNAL & PHONE	YES	YES
CITY OF BUFFALO WATER AUTHORITY	WATER	YES	YES
DOT REGION 5 BUFFALO	TRAFFIC	YES	YES
NATIONAL FUEL GAS BUFFALO	GAS	YES	YES
NATIONAL GRID/WEST/ELECTRIC	ELECTRIC	YES	YES
TIME WARNER CABLE - BUFFALO	FIBER AND CABLE	YES	YES
VERIZON BUFFALO	FIBER AND PHONE	YES	-

## LEGEND

EDGE OF PAVEMENT	POOL	PILE
GUARDRAIL	BUILDING FLOOR	GOLF FAIRWAY
TREELINE	FOUNDATION	UNDER CONSTRUCTION
FENCE GATE	RUINS	RUNWAY
RIVER	MARSH OUTLINE	AIRFIELD PAVED
HEDGE	POND LAKE	AIRFIELD SHLDR
DIRTROAD	PAVED GUTTER	AIRFIELD PAINT
BUILDING (RES.)	HEADWALL	HELICOPTER PAD
MISLINE	DAM	ABANDONED RR
RETAINING WALL	PIPE END	PAVED PARKING
CURB	CEMETERY	UNPAVED PARKING
INDEX OBS INDEX	RECREATION UNPAV	AERIAL TC BOX
INTER OBS INTER	TANK	PIPE
INDEXD OBS INDEXD	RECREATION PAVED	AIR VENT
INTERD OBS INTERD	TRAIL	HEAT PUMP / AC
SIDEWALK	BUILDING (MISC)	VALVE
DECK	CREEK	LANDSCAPE
STEPS	SOFTBREAK	END EXP JOINT
GRID (w/text)	HARDBREAK	ROAD CENTERLINE
RR	OBSCURSED AREA	UTILITY BOX
	UNPAVED SHOULDER	GRENS
SIGN/OH SIGN	BUILDINGS (TEMP)	TRAPS_BUNKERS
ROAD PAINT	CANOPY	TEES
PKG PAINT	FENCE GATE	INDEFINITE AREA
TRAVELWAY	PHONE	CULTIVATED FIELD
PAVED DRIVE	GUY	DQCK
UNPAVED DRIVE	RAMP	BRIDGE ROAD
BRUSH	SMOKE	BRIDGE CURB
CONTEXT 1 10	OH PIPE	BRIDGE SIDEWALK
BRIDGE	OH WALK	MID EXP JOINT
MAPPING LIMITS	CONVEYOR	BRIDGE-BREAK
SLAB, CONCRETE	LANDFILL	OBSCURSED BREAK
WALL	OPEN STORAGE	

## SYMBOLS

□ SQUARE	⊖ PWRPOLE	● VALVE
CB	⊖ FIREHYD	■ FLAG
◇ DI	⊖ SWAMP	■ UNOB
◇ DECIDUOUS BUSH	⊖ PWRPOLE	□ RAILSIG
* CONIFEROUS BUSH	⊖ TOWER (LINE)	□ RAILSW
× TC	⊖ CULV (LINE)	□ TRABOX
⊙ MH	† CEMETERY	■ RUNLIGHT
● LAMPOST	⊖ AC OR HEAT PUMP	■ TAXLIGHT
⊙ DECIDUOUS TREE	⊖ POLES (MISC)	■ TRASIG
* CONIFEROUS TREE	× DTM SPOT	■ TREEBOLE
▷ SIGN	× OBS DTM SPOT	■ MB
● POST	⊖ ANTENNA	■ VERT
0.0	⊖ SAT.DISH	■ HOR
× SPOT	— GUY (LINE)	▲ HV

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Project Manager:	DLP

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## Revisions

City of Buffalo Parks & Buffalo  
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Design Development  
SWBR Project Number 18630.0

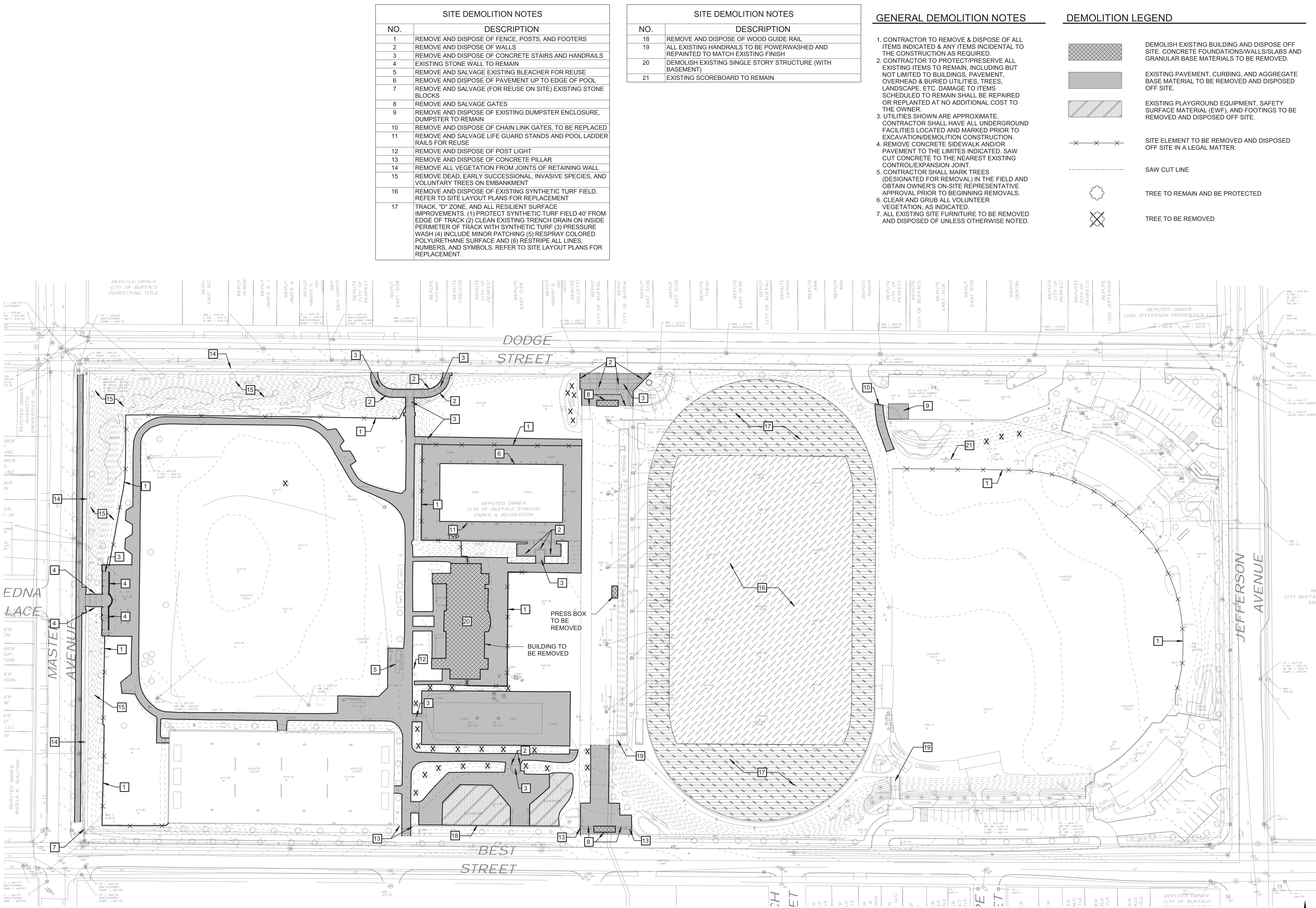
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726 Exchange Street, Suite 525  
Buffalo, NY 14210

**L-001**

## JBW / Masten

Existing  
Conditions/Survey (East)

**03.29.2019**  
Design Development Set



1 JBW/MASTEN DEMOLITION PLAN  
1" = 60'-0"



SITE DEMOLITION NOTES	
NO.	DESCRIPTION
1	REMOVE AND DISPOSE OF FENCE, POSTS, AND FOOTERS
2	REMOVE AND DISPOSE OF WALLS
3	REMOVE AND DISPOSE OF CONCRETE STAIRS AND HANDRAILS
4	EXISTING STONE WALL TO REMAIN
5	REMOVE AND SALVAGE EXISTING BLEACHER FOR REUSE
6	REMOVE AND DISPOSE OF PAVEMENT UP TO EDGE OF POOL
7	REMOVE AND SALVAGE (FOR REUSE ON SITE) EXISTING STONE BLOCKS
8	REMOVE AND SALVAGE GATES
9	REMOVE AND DISPOSE OF EXISTING DUMPSTER ENCLOSURE, DUMPSTER TO REMAIN
10	REMOVE AND DISPOSE OF CHAIN LINK GATES, TO BE REPLACED
11	REMOVE AND SALVAGE LIFE GUARD STANDS AND POOL LADDER RAILS FOR REUSE
12	REMOVE AND DISPOSE OF POST LIGHT
13	REMOVE AND DISPOSE OF CONCRETE PILLAR
14	REMOVE ALL VEGETATION FROM JOINTS OF RETAINING WALL
15	REMOVE DEAD, EARLY SUCCESSIONAL, INVASIVE SPECIES, AND VOLUNTARY TREES ON EMBANKMENT
16	REMOVE AND DISPOSE OF EXISTING SYNTHETIC TURF FIELD. REFER TO SITE LAYOUT PLANS FOR REPLACEMENT
17	TRACK, "D" ZONE, AND ALL RESILIENT SURFACE IMPROVEMENTS. (1) PROTECT SYNTHETIC TURF FIELD 40' FROM EDGE OF TRACK (2) CLEAN EXISTING TRENCH DRAIN ON INSIDE PERIMETER OF TRACK WITH SYNTHETIC TURF (3) PRESSURE WASH (4) INCLUDE MINOR PATCHING (5) RESPRAY COLORED POLYURETHANE SURFACE AND (6) RESTRIPE ALL LINES, NUMBERS, AND SYMBOLS. REFER TO SITE LAYOUT PLANS FOR REPLACEMENT.

SITE DEMOLITION NOTES	
NO.	DESCRIPTION
18	REMOVE AND DISPOSE OF WOOD GUIDE RAIL
19	ALL EXISTING HANDRAILS TO BE POWERWASHED AND REPAINTED TO MATCH EXISTING FINISH
20	DEMOLISH EXISTING SINGLE STORY STRUCTURE (WITH BASEMENT)
21	EXISTING SCOREBOARD TO REMAIN

GENERAL DEMOLITION NOTES

- CONTRACTOR TO REMOVE & DISPOSE OF ALL ITEMS INDICATED & ANY ITEMS INCIDENTAL TO THE CONSTRUCTION AS REQUIRED.
- CONTRACTOR TO PROTECT/PRESERVE ALL EXISTING ITEMS TO REMAIN, INCLUDING BUT NOT LIMITED TO BUILDINGS, PAVEMENT, OVERHEAD & BURIED UTILITIES, TREES, LANDSCAPE, ETC. DAMAGE TO ITEMS SCHEDULED TO REMAIN SHALL BE REPAIRED OR REPLANTED AT NO ADDITIONAL COST TO THE OWNER.
- UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL HAVE ALL UNDERGROUND FACILITIES LOCATED AND MARKED PRIOR TO EXCAVATION/DEMOLITION CONSTRUCTION.
- REMOVE CONCRETE SIDEWALK AND/OR PAVEMENT TO THE LIMITS INDICATED. SAW CUT CONCRETE TO THE NEAREST EXISTING CONTROL/EXPANSION JOINT.
- CONTRACTOR SHALL MARK TREES (DESIGNATED FOR REMOVAL) IN THE FIELD AND OBTAIN OWNER'S ON-SITE REPRESENTATIVE APPROVAL PRIOR TO BEGINNING REMOVALS.
- CLEAR AND GRUB ALL VOLUNTARY VEGETATION, AS INDICATED.
- ALL EXISTING SITE FURNITURE TO BE REMOVED AND DISPOSED OF UNLESS OTHERWISE NOTED.

DEMOLITION LEGEND

- DEMOLISH EXISTING BUILDING AND DISPOSE OFF SITE. CONCRETE FOUNDATIONS/WALLS/SLABS AND GRANULAR BASE MATERIALS TO BE REMOVED.
- EXISTING PAVEMENT, CURBING, AND AGGREGATE BASE MATERIAL TO BE REMOVED AND DISPOSED OFF SITE.
- EXISTING PLAYGROUND EQUIPMENT, SAFETY SURFACE MATERIAL (EWF), AND FOOTINGS TO BE REMOVED AND DISPOSED OFF SITE.
- SITE ELEMENT TO BE REMOVED AND DISPOSED OFF SITE IN A LEGAL MATTER.
- SAW CUT LINE
- TREE TO REMAIN AND BE PROTECTED
- TREE TO BE REMOVED

Drawn By: MMF  
Checked By: BP  
Project Manager: BP

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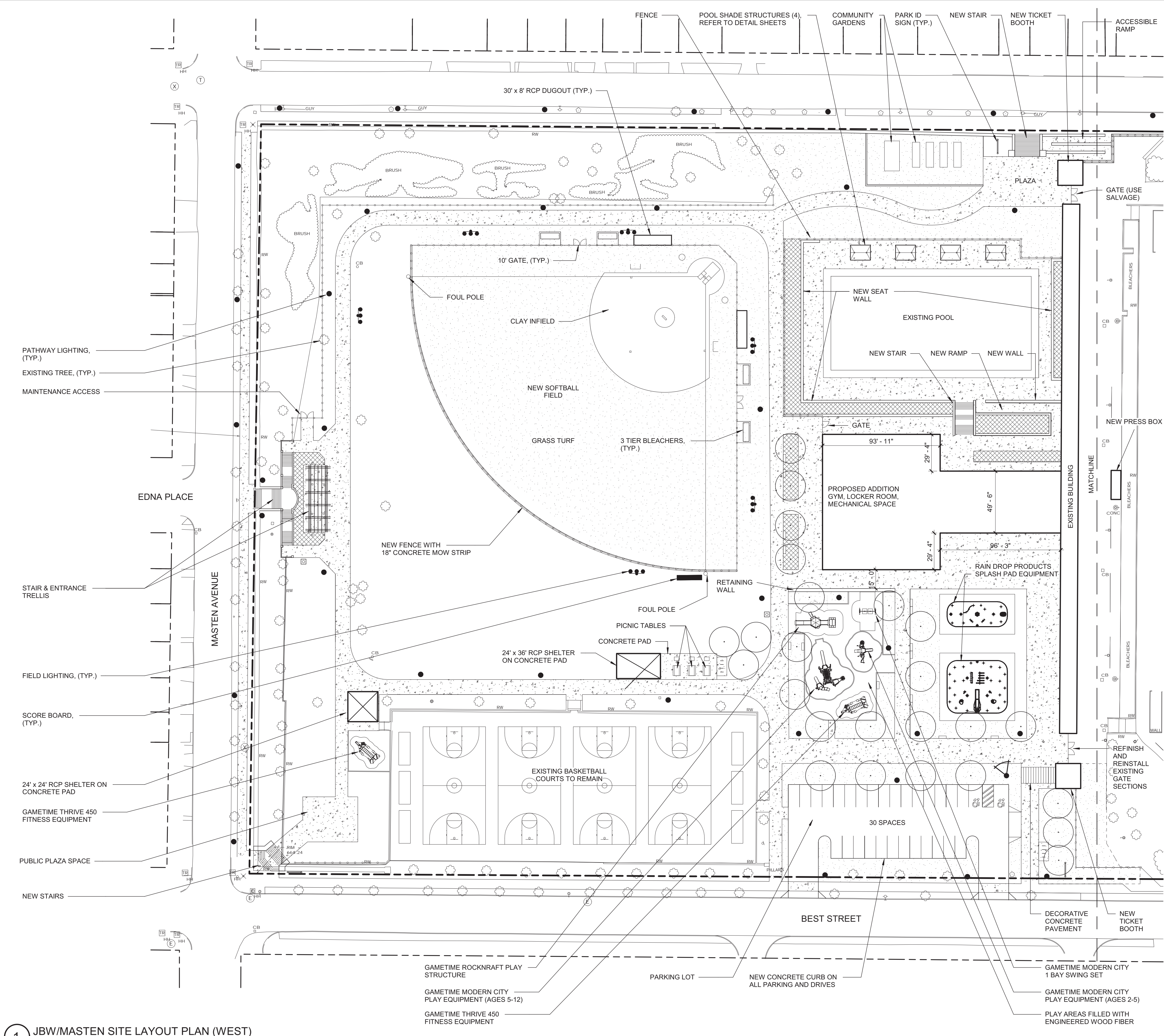
Revisions

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SWBR Project Number 18630.00

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Buffalo, NY 14210

L-002  
JBW / Masten  
Demolition Plan

03.29.2019  
Design Development Set



— — — — — PROPERTY LINES

CONCRETE

LAWN (TOPSOIL AND SEED)

STONE DUST WALKING SURFACE

SYNTHETIC TURF ATHLETIC FIELD

NEW SOD TO REESTABLISH EDGE (BASEBALL/SOFTBALL)

PROPOSED PLANT BED

ASPHALT WALKWAY

EXISTING TREE TO REMAIN

PROPOSED TREE

FENCE

FIELD LIGHTING

PATHWAY LIGHTING

LAMPPOLE TO REMAIN

SECURITY CAMERA

SCOREBOARD

COMBINATION FOOTBALL / SOCCER GOAL

BIKE RACK

DOG WASTE STATION

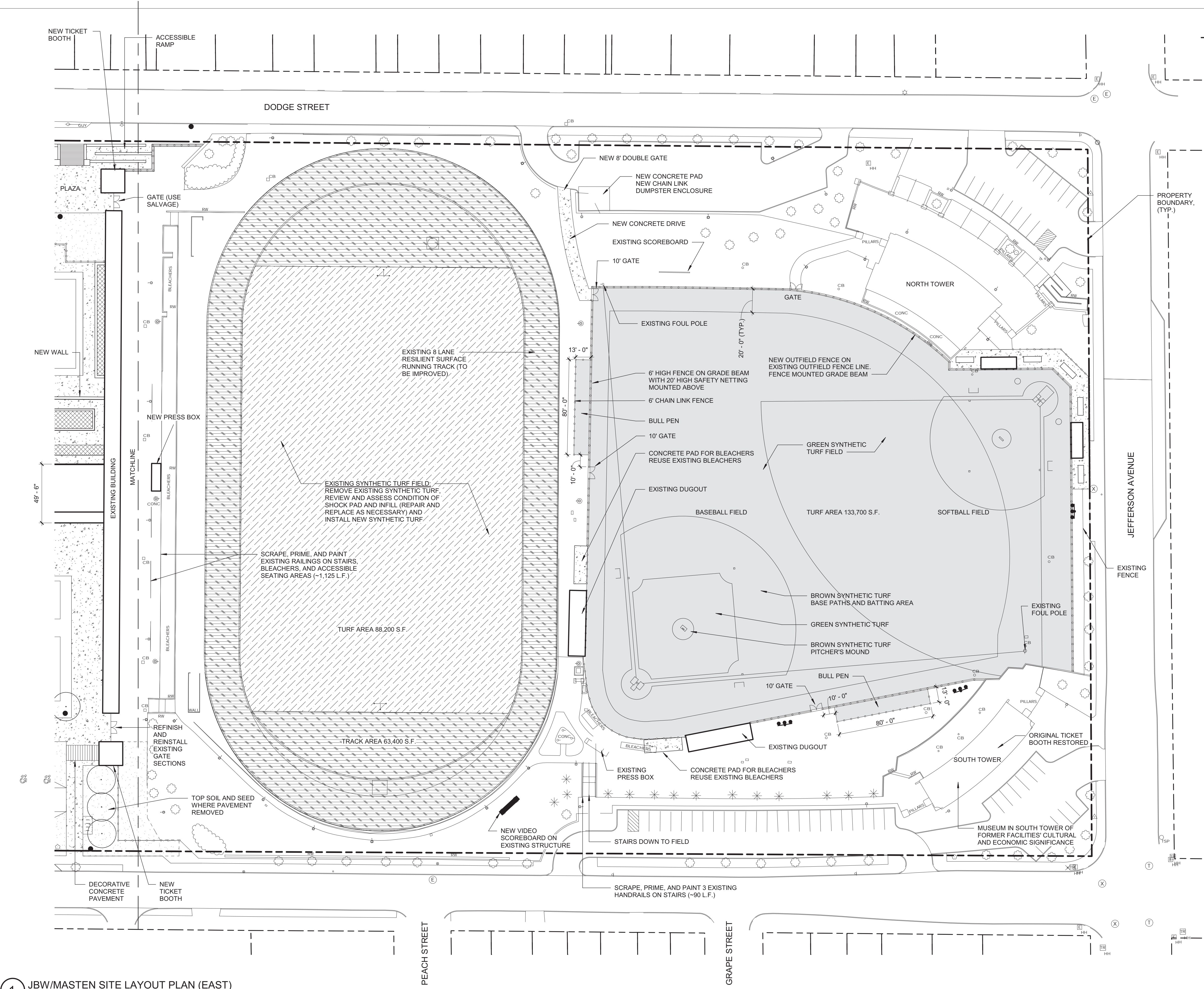
6' METAL BENCH

COMPLIES WITH NFHS FIELD SIZE  
STANDARDS FOR SOFTBALL

1. CLAY INFIELD:
  - A. STRIP AND STOCKPILE CLAY FROM EXISTING FIELDS FOR REUSE
  - B. EXCAVATE 6" AREA OF CLAY INFELD (~70 c.y.)
  - C. IMPORT SPREAD AND COMPACT 3" COURSE BEDDING SAND
  - D. REUSE AND IMPORT 3" CLEAN MATERIAL OVER SAND BASE
  - E. INSTALL CLAY BRICKS AT PITCHERS MOUND, HOME PLATE, BATTER BOXES AND CATCHERS BOX
  - F. FINE GRADE CLAY AND COMPACT
2. OUTFIELD:
  - A. IMPORT TOPSOIL (130 c.y.) AND SPREAD TO ACHIEVE DESIGN GRADES
  - B. FINE RAKE AND SEED
  - C. PERFORM GROW IN MOWINGS AND FERTILIZATION

1. CLEAR AND GRUB DEAD TREES AND STUMPS
2. MOW OR WEED WHIP ALL GRASS VEGETATION ON SLOPE AND REMOVE FROM SITE
3. IMPORT 200 c.y. TOPSOIL, ROUGH GRADE WITH TRACK FINISH
4. HYDROSEED SLOPES (45,000 S.F.) WITH ANNUAL RYE AND TALL FESCUE SEED MIX AND AND \_\_\_\_ TO STABILIZE SLOPE





LANDSCAPE AND PAVING LEGEND

- PROPERTY LINES
- CONCRETE
- LAWN (TOPSOIL AND SEED)
- STONE DUST WALKING SURFACE
- SYNTHETIC TURF ATHLETIC FIELD
- NEW SOD TO REESTABLISH FIELD EDGE (BASEBALL/SOFTBALL)
- PROPOSED PLANT BED
- ASPHALT WALKWAY
- EXISTING TREE TO REMAIN
- PROPOSED TREE
- FENCE
- FIELD LIGHTING
- PATHWAY LIGHTING
- LAMPPOLE TO REMAIN
- SECURITY CAMERA
- SCOREBOARD
- COMBINATION FOOTBALL / SOCCER GOAL
- BIKE RACK
- DOG WASTE STATION
- 6' METAL BENCH

SYNTHETIC TURF FIELDS  
COMPLY WITH NFHS FIELD SIZE  
STANDARDS FOR SOFTBALL,  
FOOTBALL, SOCCER, AND LACROSSE

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Drawn By: MMF  
Checked By: BP  
Project Manager: BP

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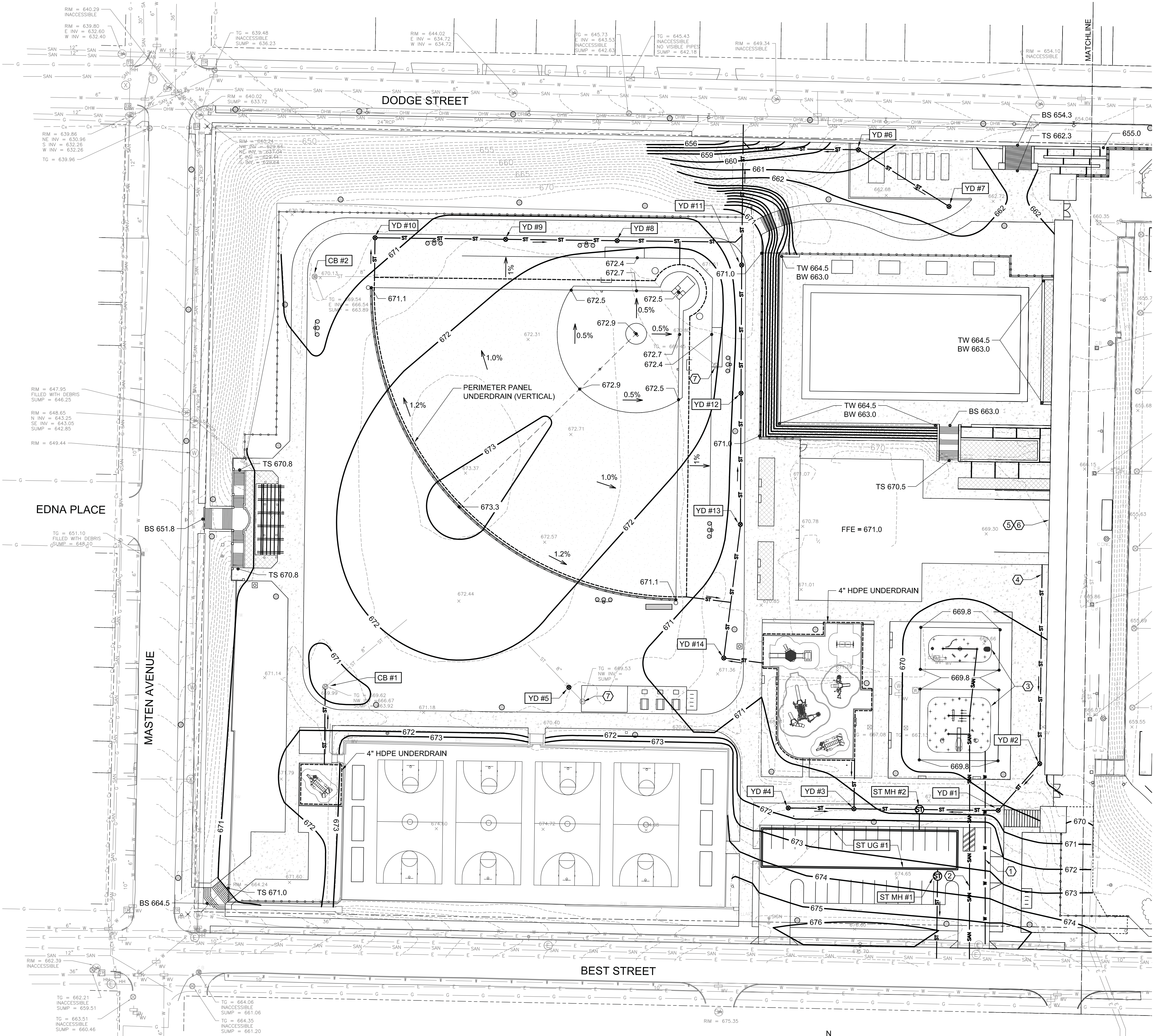
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Community Foundation for  
Greater Buffalo  
726 Exchange Street, Suite 525  
Buffalo, NY 14210

L-102  
JBW / Masten  
Site Layout Plan  
(East)

03.29.2019  
Design Development Set



## GRADING & UTILITY NOTES

- STORM PIPING TO BE HDPE UNLESS OTHERWISE INDICATED. SANITARY SEWER PIPING TO BE SDR-35 PVC. WATER PIPING TO BE TYPE K COPPER OR DUCTILE IRON. PIPE SIZING TO BE DETERMINED DURING FINAL DESIGN.
- ALL UNDERDRAIN PIPING TO BE 4" DIAMETER PERFORATED HDPE OR PANEL UNDERDRAIN AS INDICATED ON PLANS. UNDERDRAIN AND PANEL DRAIN PIPE TO SLOPE TOWARD CONNECTIONS TO STORM SYSTEM.
- THE PROJECT MAY BE SUBJECT TO THE REQUIREMENTS OF NYSDEC SPDES GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITY, GP-0-15-002. A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS REQUIRED FOR THE PROJECT AS WELL AS EROSION AND SEDIMENT CONTROL PLANS PREPARED IN ACCORDANCE WITH THE "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL."
- UNDERGROUND DETENTION LOCATION AND SIZE IS SCHEMATIC ONLY. STORMWATER MANAGEMENT SYSTEM (WATER QUANTITY AND QUALITY MEASURES) TO BE DESIGNED TO MEET SWPPP REQUIREMENTS DURING FINAL DESIGN.

## UTILITY KEY NOTES

①	NEW WATER SERVICE LATERAL TO CONNECT TO EX. 36" WATER MAIN
②	NEW DRAIN LINE FOR SPLASH PADS TO CONNECT TO EX. 10" SANITARY SEWER MAIN
③	SPLASH PAD SURFACE TO SLOPE 2% FROM PERIMETER TOWARDS SPLASH PAD DRAINS
④	NEW ROOF DRAINAGE STORM LATERAL TO CONNECT FROM BUILDING TO TO NEW STORM LINE
⑤	WATER SERVICE FOR NEW BUILDING TO CONNECT TO EX. BUILDING WATER SERVICE LINE
⑥	SANITARY SEWER SERVICE FOR NEW BUILDING TO CONNECT TO EX. BUILDING SEWER LINE
⑦	EX. CATCH BASIN TO BE REMOVED AND PIPE OUT CAPPED AND ABANDONED IN PLACE

## STORM DRAINAGE STRUCTURES

I.D.	DESCRIPTION	RIM	INVERT
ST MH #1	STORM MANHOLE	673.4	665.0
ST MH #2	STORM MANHOLE	670.8	665.2
CB #1	EX. CATCH BASIN	669.6	666.7
CB #2	EX. CATCH BASIN	ADJUST 670.0	-----
YD #1	YARD DRAIN	670.1	665.7
YD #2	YARD DRAIN	669.5	666.0
YD #3	YARD DRAIN	671.1	666.6
YD #4	YARD DRAIN	671.5	668.0
YD #5	YARD DRAIN	671.2	MATCH EX.
YD #6	YARD DRAIN	660.8	657.3
YD #7	YARD DRAIN	661.6	658.1
YD #8	YARD DRAIN	671.7	665.2
YD #9	YARD DRAIN	671.4	666.1
YD #10	YARD DRAIN	670.6	667.1
YD #11	YARD DRAIN	670.5	664.1
YD #12	YARD DRAIN	670.5	664.9
YD #13	YARD DRAIN	670.2	665.7
YD #14	YARD DRAIN	670.0	666.5
ST UG #1	STORM UNDERGROUND DETENTION SYSTEM	VARIES	665.0

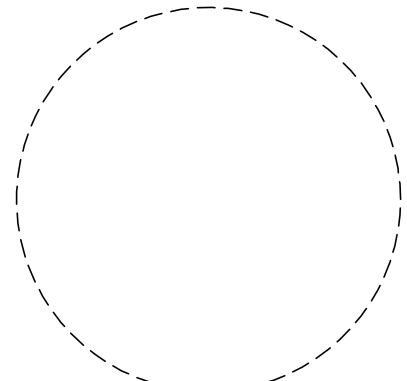
## LEGEND

---	600	EX. CONTOUR
---	600	PROP. CONTOUR
---	667.0	PROP. SPOT ELEVATION
---	ST	STORM DRAINAGE PIPE
---	SAN	SANITARY SEWER PIPE
---	W	WATER PIPE
---	---	STORM UNDERDRAIN OR PANEL DRAIN
---	---	STORM TRENCH DRAIN
---	ST	STORM DRAINAGE MANHOLE
---	CB	CATCH BASIN
---	YD	YARD DRAIN
---	SA	SANITARY SEWER MANHOLE
---	CO	CLEANOUT
---	FD	FIRE HYDRANT
---	WV	WATER VALVE
---	CB	CATCH BASIN
---	YD	YARD DRAIN
---	ST MH	STORM DRAINAGE MANHOLE
---	SS MH	SANITARY SEWER MANHOLE
---	TW / BW	TOP OF WALL / BOTTOM OF WALL
---	TS / BS	TOP OF STAIR / BOTTOM OF STAIR

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Project Manager: DLP

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### Revisions


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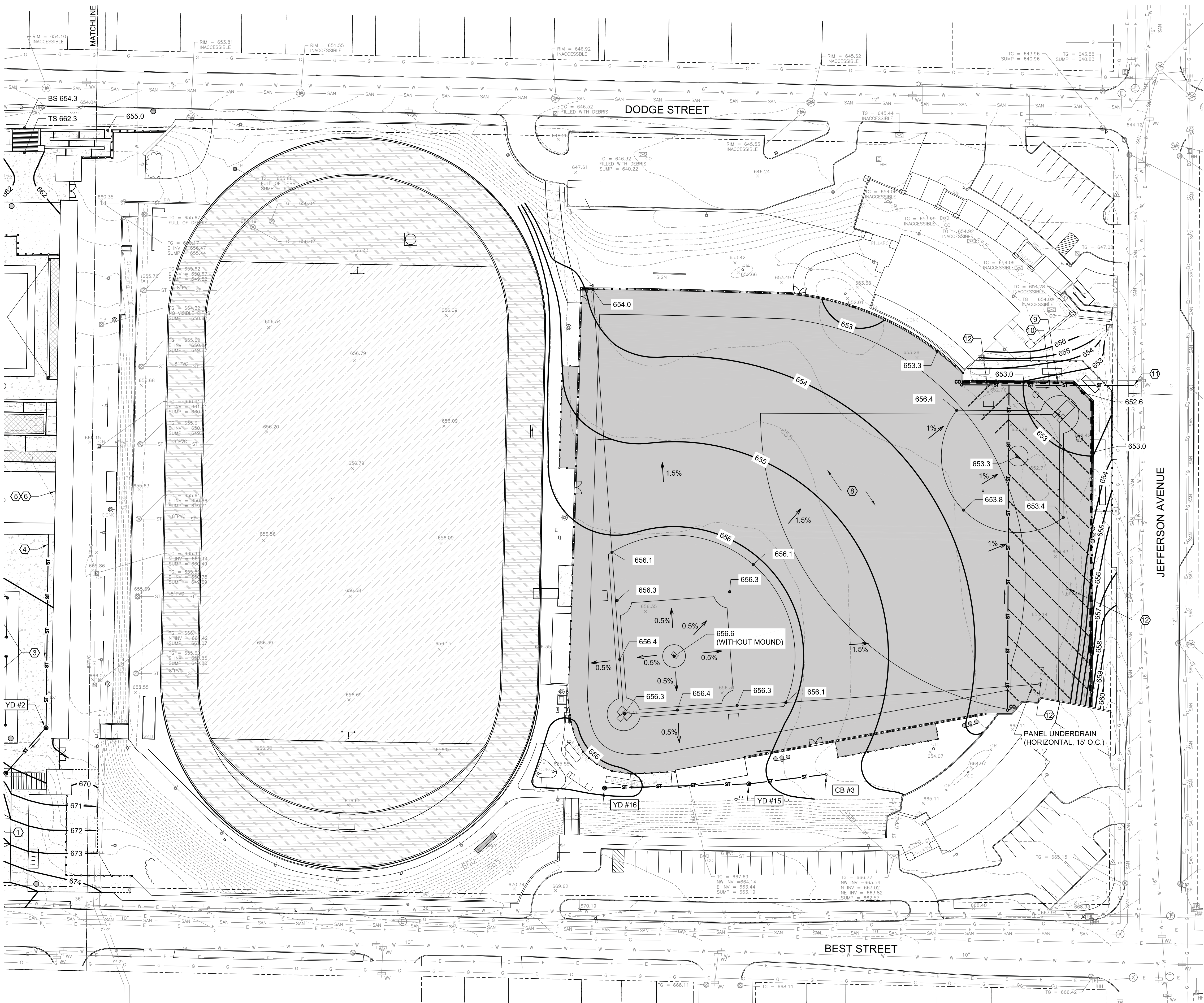
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## C-101

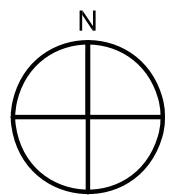
JBW / Masten

Grading, Drainage &  
Utility Plan (West)

03.29.2019  
Design Development Set



GRADING, DRAINAGE & UTILITY PLAN  
SCALE: 1" = 40'



GRADING & UTILITY NOTES

1. STORM PIPING TO BE HDPE UNLESS OTHERWISE INDICATED. SANITARY SEWER PIPING TO BE SDR-35 PVC. WATER PIPING TO BE TYPE K COPPER OR DUCTILE IRON. PIPE SIZING TO BE DETERMINED DURING FINAL DESIGN.
2. ALL UNDERDRAIN PIPING TO BE 4" DIAMETER PERFORATED HDPE OR PANEL UNDERDRAIN AS INDICATED ON PLANS. UNDERDRAIN AND PANEL DRAIN PIPE TO SLOPE TOWARD CONNECTIONS TO STORM SYSTEM.
3. THE PROJECT MAY BE SUBJECT TO THE REQUIREMENTS OF NYSDEC SPDES GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITY, GP-0-15-002. A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS REQUIRED FOR THE PROJECT AS WELL AS EROSION AND SEDIMENT CONTROL PLANS PREPARED IN ACCORDANCE WITH THE "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL."
4. UNDERGROUND DETENTION LOCATION AND SIZE IS SCHEMATIC ONLY. STORMWATER MANAGEMENT SYSTEM (WATER QUANTITY AND QUALITY MEASURES) TO BE DESIGNED TO MEET SWPPP REQUIREMENTS DURING FINAL DESIGN.

UTILITY KEY NOTES

8	NEW SYNTHETIC TURF TO UTILIZE EX. UNDERDRAIN SYSTEM, UNDERDRAIN TO BE FLUSHED PRIOR TO USE
9	NEW PERIMETER TRENCH DRAIN, CONNECT AND SLOPE TO NEW STORM SYSTEM
10	NEW STORM DRAINAGE PIPING TO COLLECT UNDERDRAIN AND TRENCH DRAIN FLOW
11	CONNECT NEW STORM TO EX. STORM OR SEWER, VERIFY EX. LOCATIONS AND ELEVATIONS IN THE FIELD
12	REMOVE EX. YARD DRAIN

STORM DRAINAGE STRUCTURES

I.D.	DESCRIPTION	RIM	INVERT
CB #3	EX. CATCH BASIN	ADJUST 655.2	651.0
YD #15	YARD DRAIN	656.1	651.5
YD #16	YARD DRAIN	655.5	652.5

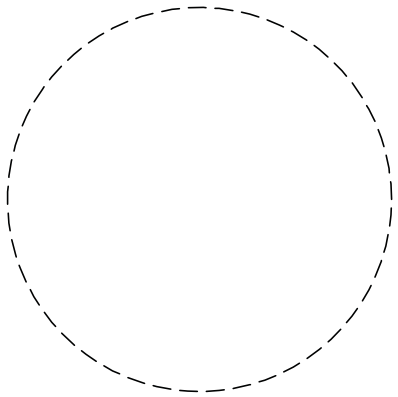
LEGEND

---	600	EX. CONTOUR
---	600	PROP. CONTOUR
667.0		PROP. SPOT ELEVATION
ST		STORM DRAINAGE PIPE
SAN		SANITARY SEWER PIPE
W		WATER PIPE
---		STORM UNDERDRAIN OR PANEL DRAIN
---		STORM TRENCH DRAIN
ST		STORM DRAINAGE MANHOLE
⊗		CATCH BASIN
⊗		YARD DRAIN
⊗		SANITARY SEWER MANHOLE
○		CLEANOUT
⊗		FIRE HYDRANT
⊗		WATER VALVE
⊗		YARD HYDRANT
⊗		CATCH BASIN
YD		YARD DRAIN
ST MH		STORM DRAINAGE MANHOLE
SS MH		SANITARY SEWER MANHOLE
TW / BW		TOP OF WALL / BOTTOM OF WALL
TS / BS		TOP OF STAIR / BOTTOM OF STAIR

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Project Manager: DLP

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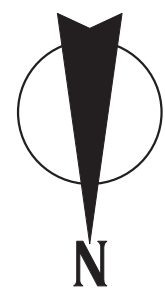
JBW / Masten

Grading, Drainage &  
Utility Plan (East)

03.29.2019  
Design Development Set



SERVICE BUILDING - DEMOLITION KEYNOTES	
No.	KEYNOTE DESCRIPTION
1	REMOVE NON-LOAD BEARING MASONRY WALL CONSTRUCTION TO UNDERSIDE OF EXISTING STRUCTURE. PATCH & REPAIR WALLS AND FLOORS TO MATCH ADJACENT SURFACES AND/OR TO RECEIVE NEW FINISHES WHEN INDICATED.
2	CREATE OPENING IN EXISTING LOAD-BEARING CONCRETE WALL CONSTRUCTION FOR SCHEDULED DOOR, FRAME AND LINTEL
3	REMOVE DOOR, FRAME AND RELATED HARDWARE PATCH & REPAIR WALLS AND FLOORS TO MATCH ADJACENT SURFACES AND/OR TO SCHEDULED FINISHES WHEN INDICATED.
4	REMOVE ALL TOILET PARTITIONS, TOILET ROOM ACCESSORIES & RELATED HARDWARE. PATCH & REPAIR WALLS, FLOORS AND CEILINGS TO MATCH ADJACENT SURFACES AND/OR TO RECEIVE SCHEDULED FINISHES WHEN INDICATED.
5	REMOVE & REPLACE EXISTING WALL PACKS ALONG ENTIRE BUILDING @ WEST ELEVATION AS INDICATED
6	REMOVE PLUMBING FIXTURE
7	REMOVE EXISTING LOCKER BENCH. PATCH & REPAIR FLOORS TO MATCH ADJACENT SURFACES AND/OR TO RECEIVE NEW FINISHES WHEN INDICATED.
8	REMOVE EXISTING LOCKERS & BASES. PATCH & REPAIR FLOORS TO MATCH ADJACENT SURFACES AND/OR TO RECEIVE NEW FINISHES WHEN INDICATED.
9	REMOVE QUARRY TILE FLOOR FINISH. PREPARE NEW SLAB FOR SCHEDULED FLOOR FINISH.
10	REMOVE & REPLACE EXISTING ROOF SYSTEM
11	REMOVE OVERHEAD COILING DOOR



Drawn By:	MDB
Checked By:	DP
Project Manager:	DP

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## Revisions

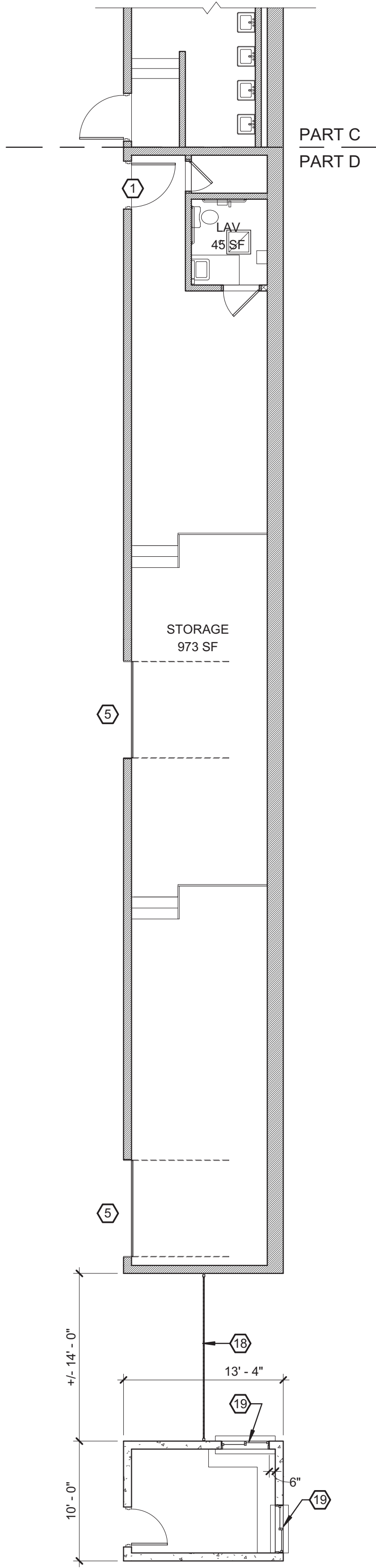
**City of Buffalo Parks & Buffalo  
Public School Facilities Survey &  
Design Development**  
SWBR Project Number 18630.00

**Community Foundation for  
Greater Buffalo**  
726 Exchange Street, Suite 52  
Buffalo, NY 14210

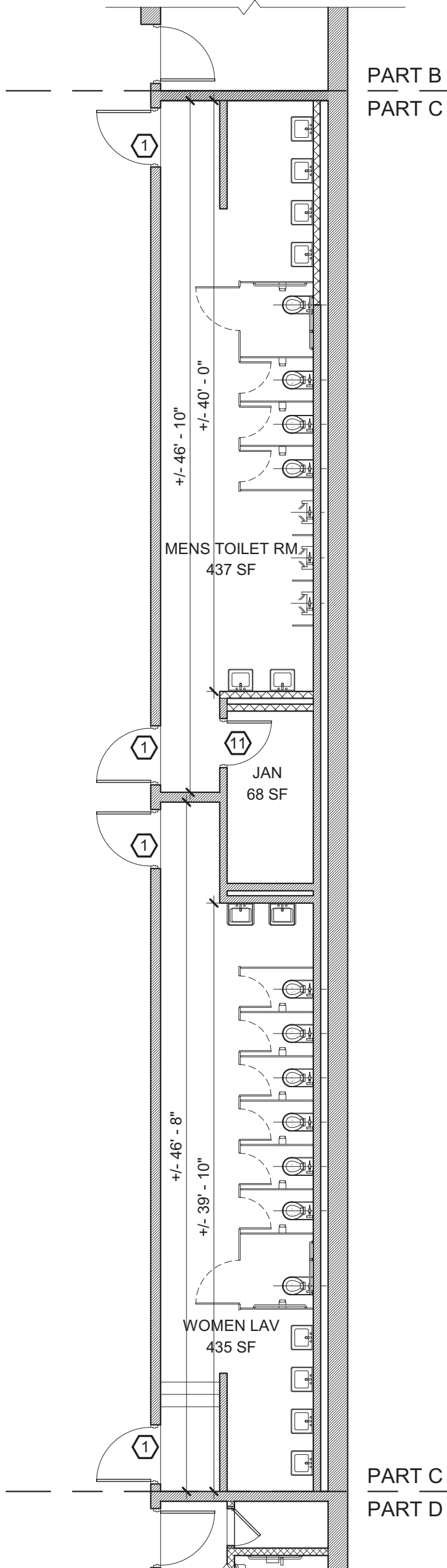
**A-101**  
**JBW/MASTEN**

## Service Building - First Floor Demolition Plan

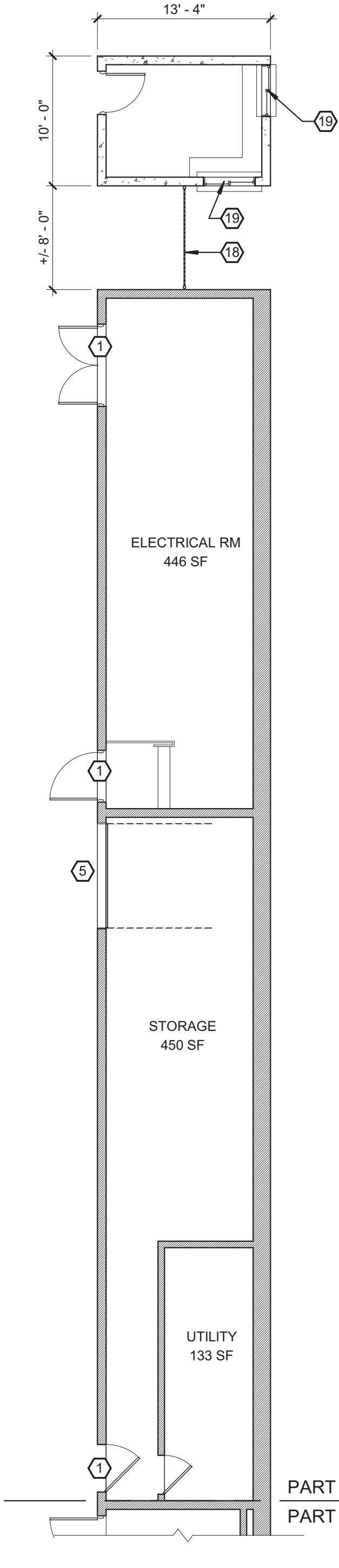
**3.29.2019**  
Design Development



4 FIRST FLOOR PLAN - PART D  
1/8" = 1'-0"



3 FIRST FLOOR PLAN - PART C  
1/8" = 1'-0"



2 FIRST FLOOR PLAN - PART A  
1/8" = 1'-0"

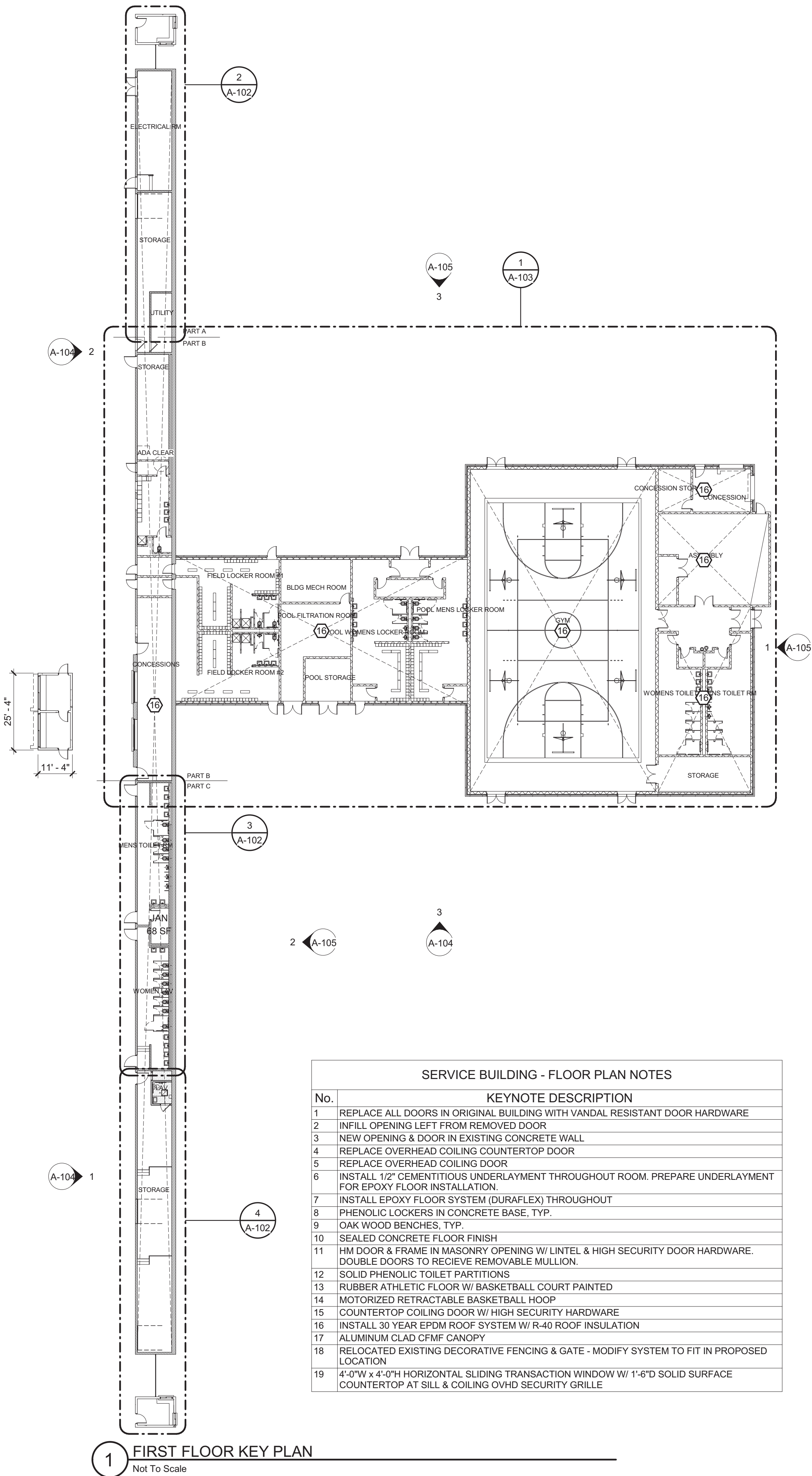
**STRUCTURAL NOTES:**

**GYM**  
EPICORE ER2RA 2" X 20 GA GALVANIZED ACOUSTICAL METAL ROOF DECK.  
48LH14 LONGSPAN JOISTS SPANNING EAST-WEST SPACED APPROXIMATELY 9'-6" OC (12 TOTAL JOISTS) WITH STANDARD SJI BRIDGING.  
12" CMU BEARING WALLS.  
STEEL ROD X-BRACING FROM BOTTOM OF WINDOW ELEVATION TO ROOF DECK, ASSUME 2 BRACES PER WALL (8 TOTAL).

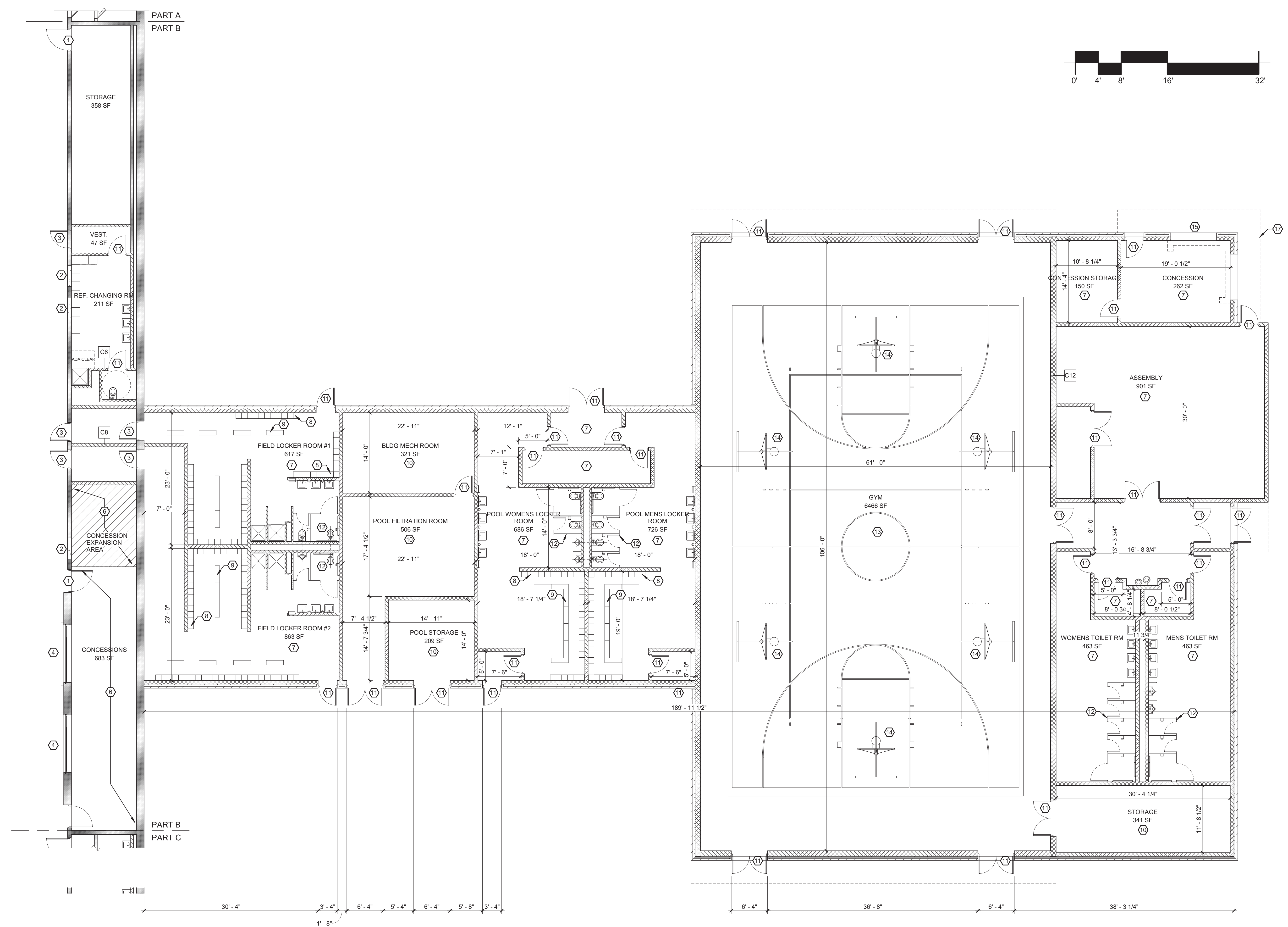
**ASSEMBLY SPACE**  
EPICORE ER2RA 2" X 20 GA GALVANIZED ACOUSTICAL METAL ROOF DECK.  
28K6 JOISTS SPANNING EAST-WEST SPACED APPROXIMATELY 7'-3" OC (5 TOTAL JOISTS) WITH STANDARD SJI BRIDGING.  
12" CMU BEARING WALLS.

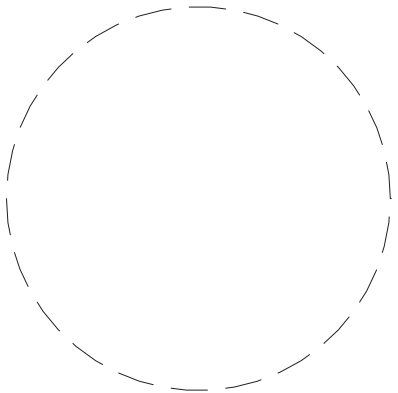
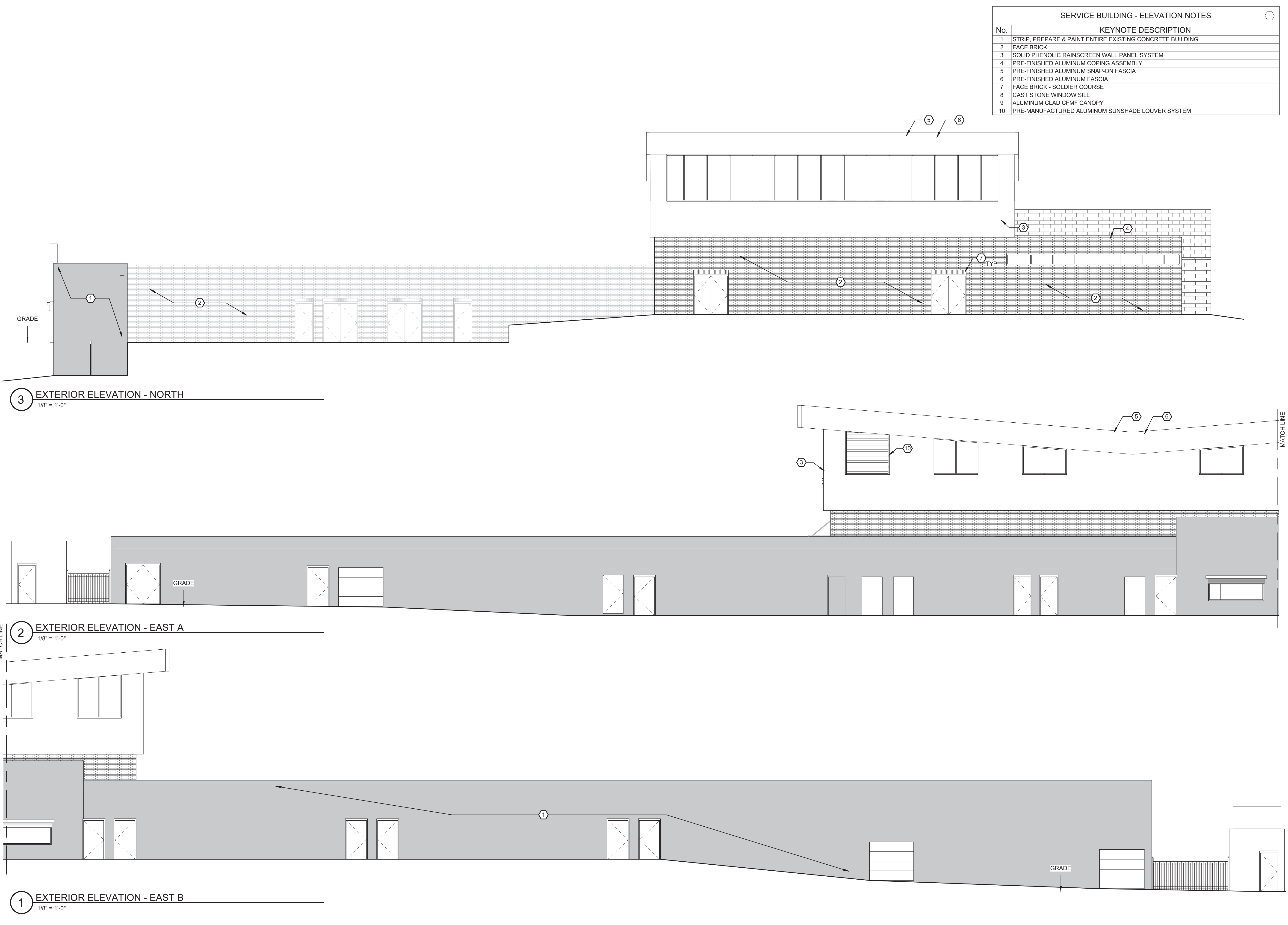
**LOCKER ROOMS/POOL ROOMS**  
1½" X 20 GA GALVANIZED METAL ROOF DECK, WIDE RIB TYPE "B".  
30K12 JOISTS SPANNING NORTH-SOUTH SPACED APPROXIMATELY 6'-0" OC WITH STANDARD SJI BRIDGING (CLEARSPAN).  
8" CMU BEARING WALLS.

**TOILET ROOMS/CONCESSIONS**  
1½" X 20 GA GALVANIZED METAL ROOF DECK, WIDE RIB TYPE "B".  
26K7 JOISTS SPANNING EAST-WEST SPACED APPROXIMATELY 6'-0" OC WITH STANDARD SJI BRIDGING.  
12" CMU BEARING WALLS.



1 FIRST FLOOR KEY PLAN  
Not To Scale





Drawn By: MDB  
Checked By: DP  
Project Manager: DP

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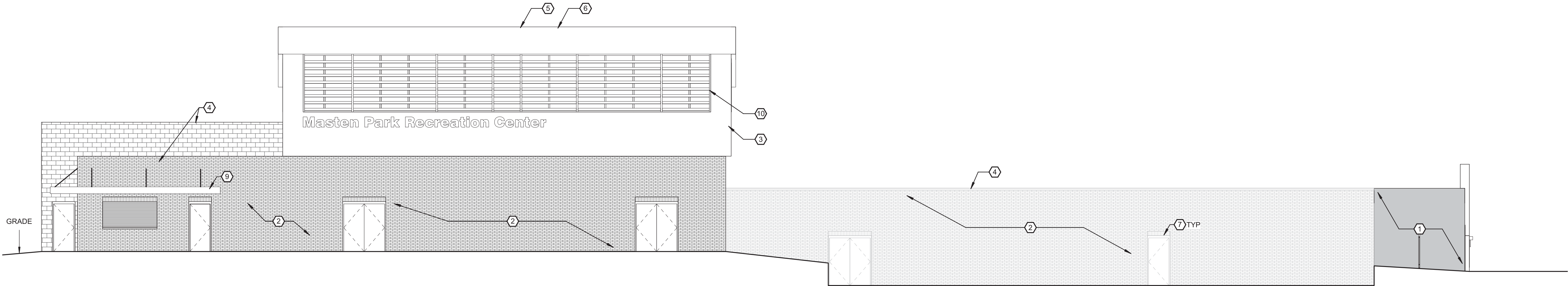
Revisions

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SWBR Project Number 18630.00

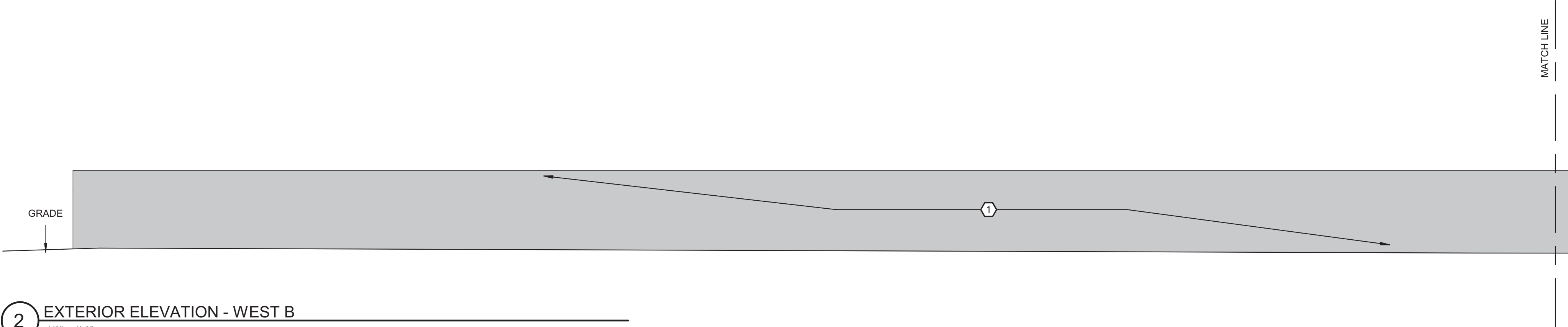
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**A-104**  
**JBW/MASTEN**  
Service Building -  
Exterior Elevations  
North & East

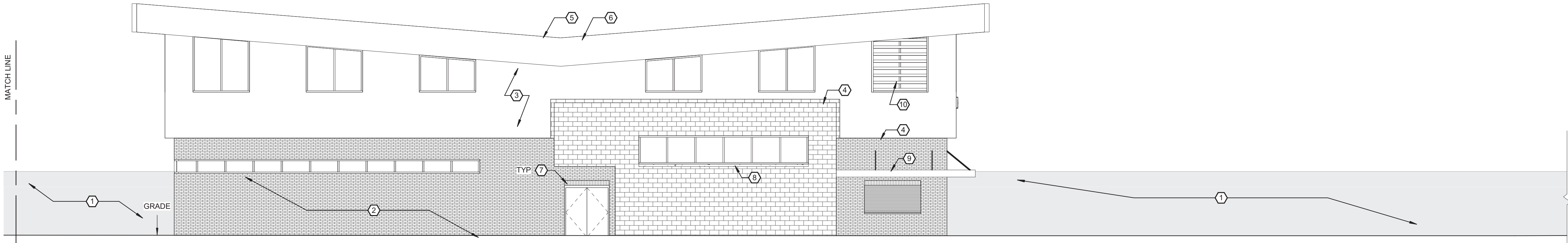
3.29.2019  
Design Development



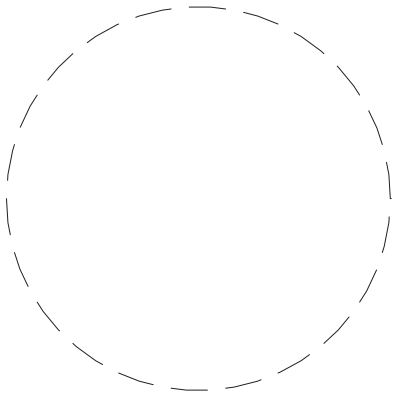
3 EXTERIOR ELEVATION - SOUTH  
1/8" = 1'-0"



2 EXTERIOR ELEVATION - WEST B  
1/8" = 1'-0"



1 EXTERIOR ELEVATION - WEST A  
1/8" = 1'-0"



Drawn By: MDB  
Checked By: DP  
Project Manager: DP

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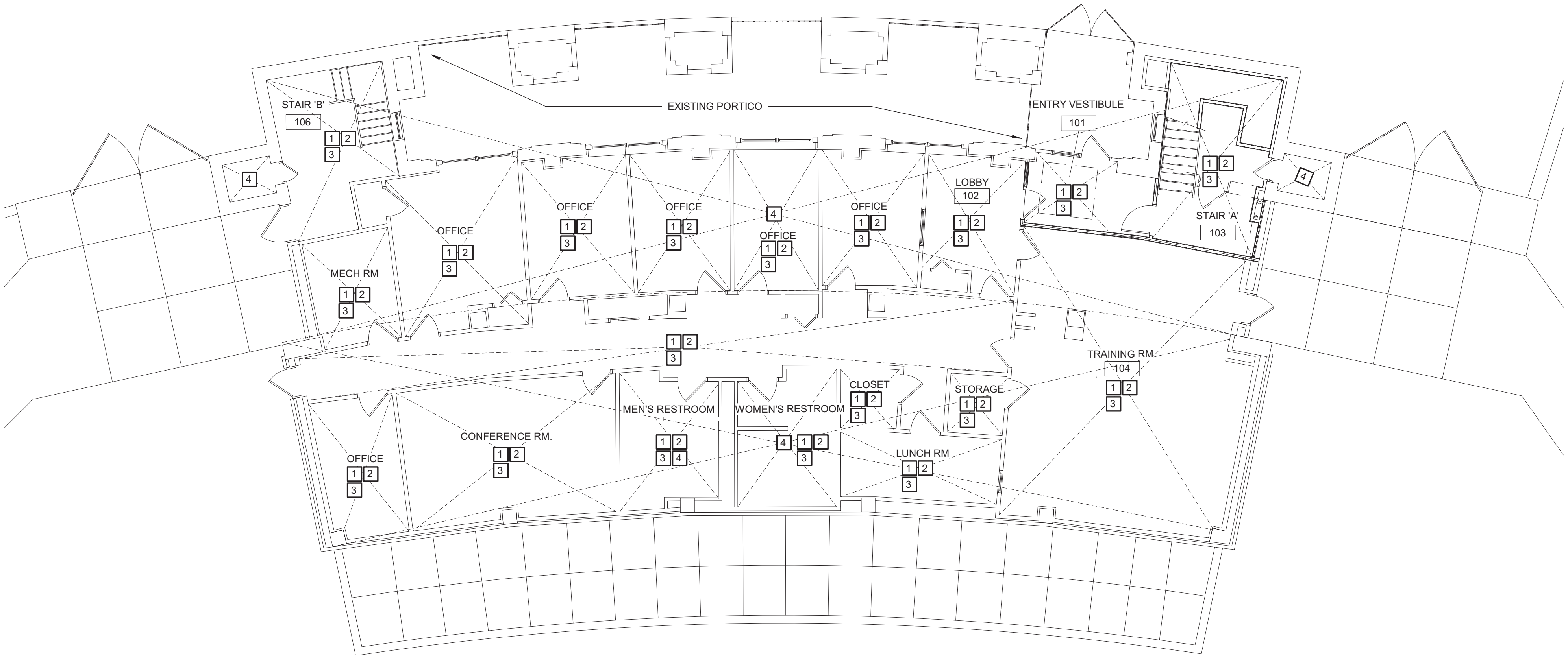
**A-105**  
**JBW/MASTEN**  
Service Building -  
Exterior Elevations  
South & West  
3.29.2019  
Design Development

NORTH TOWER - FLOOR PLAN NOTES	
No.	KEYNOTE DESCRIPTION
1	PREPARE EXISTING FLOOR SURFACE FOR INSTALLATION OF NEW FLOOR FINISHES.
2	INSTALL NEW CEILING @ THE ORIGINAL HEIGHT A.F.F.
3	INSTALL NEW TECHNOLOGY, INCLUDING HARDWARE AND ASSOCIATED SYSTEMS. INCLUDING WAP AND HDMI INPUTS/OUTPUTS.
4	INSTALL 30 YEAR EPDM SYSTEM W/ R-40 ROOF INSULATION

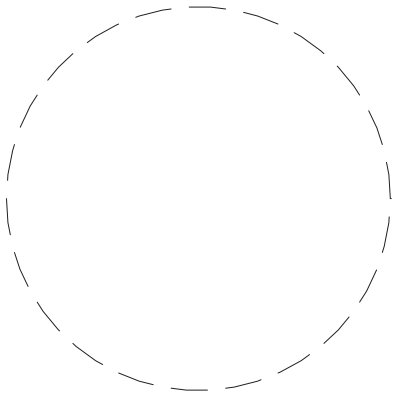


2 NORTH TOWER - FIRST FLOOR PLAN  
1/8" = 1'-0"

NORTH TOWER - DEMOLITION KEYNOTES	
No.	DEMOLITION KEYNOTES
1	REMOVE EXISTING FLOOR FINISH.
2	REMOVE EXISTING CEILING.
3	REMOVE EXISTING AND PERMANENTLY AFFIXED TECHNOLOGY THROUGHOUT IN PREPARATION OF INSTALLING NEW TECHNOLOGY AND ASSOCIATED SYSTEMS.
4	REMOVE & REPLACE EXISTING ROOF SYSTEM



1 NORTH TOWER - FIRST FLOOR DEMOLITION PLAN  
1/8" = 1'-0"



Drawn By: MB  
Checked By: DP  
Project Manager: DP

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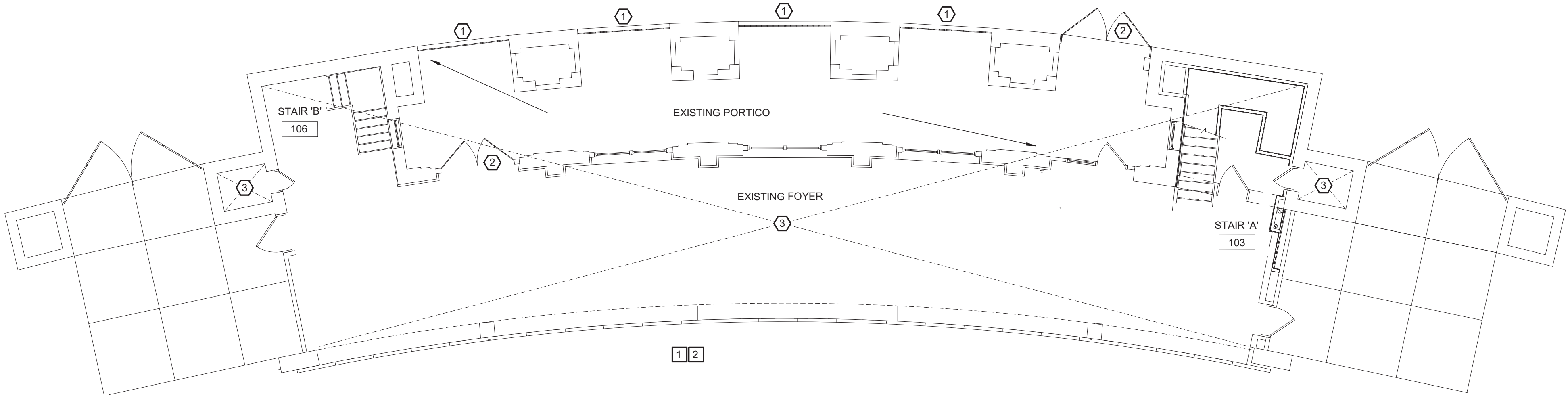

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A-106  
JBW/MASTEN  
North Tower -  
Demolition & New  
Work Plans

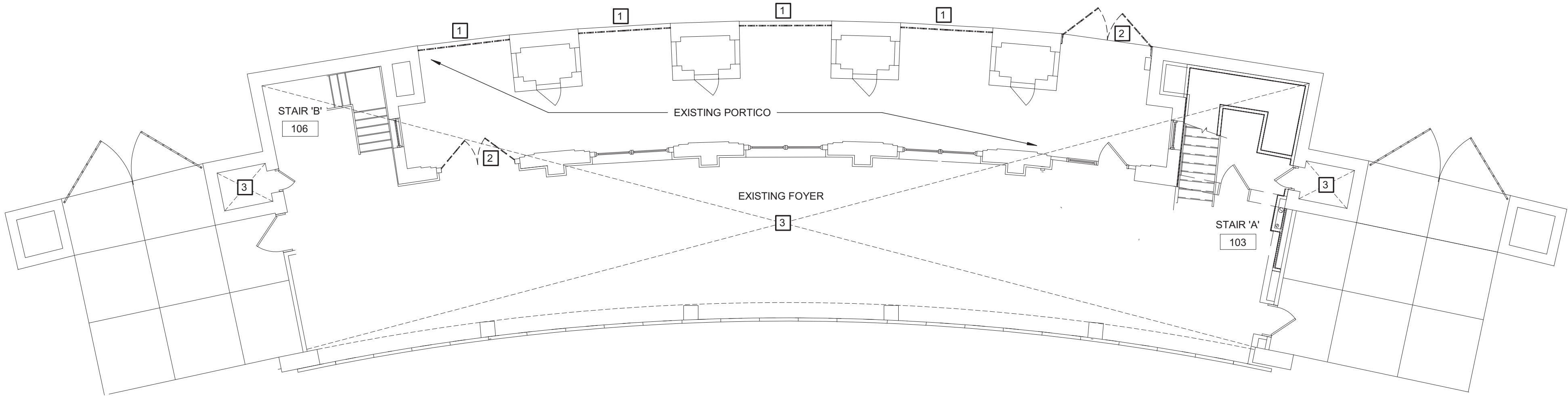
3.29.2019  
Design Development

SOUTH TOWER - PLAN KEYNOTES	
No.	KEYNOTE DESCRIPTION
1	REPLACE SECURITY COILING DOORS
2	REPLACE DOOR W/ VANDAL RESISTANT DOOR HARDWARE
3	INSTALL 30 YEAR EPDM SYSTEM W/ R-40 ROOF INSULATION. PATCH ANY HOLES IN ROOF DECK.

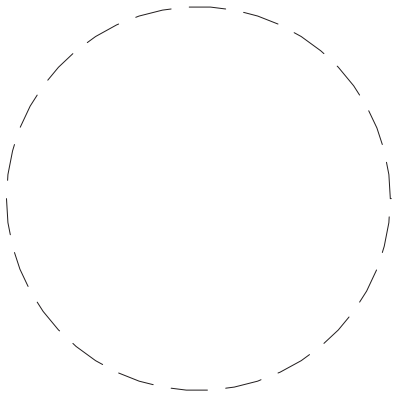


2 SOUTH TOWER - FIRST FLOOR  
1/8" = 1'-0"

SOUTH TOWER - DEMOLITION KEYNOTES	
No.	KEYNOTE DESCRIPTION
1	REMOVE EXISTING SECURITY ROLLING DOORS
2	REMOVE DOOR, FRAME AND RELATED HARDWARE.PATCH & REPAIR WALLS AND FLOORS TO MATCH ADJACENT SURFACES AND/OR TO SCHEDULED FINISHES WHEN INDICATED.
3	REMOVE & REPLACE EXISTING ROOF SYSTEM



1 SOUTH TOWER - FIRST FLOOR DEMOLITION PLAN  
1/8" = 1'-0"



Drawn By: MB  
Checked By: DP  
Project Manager: DP

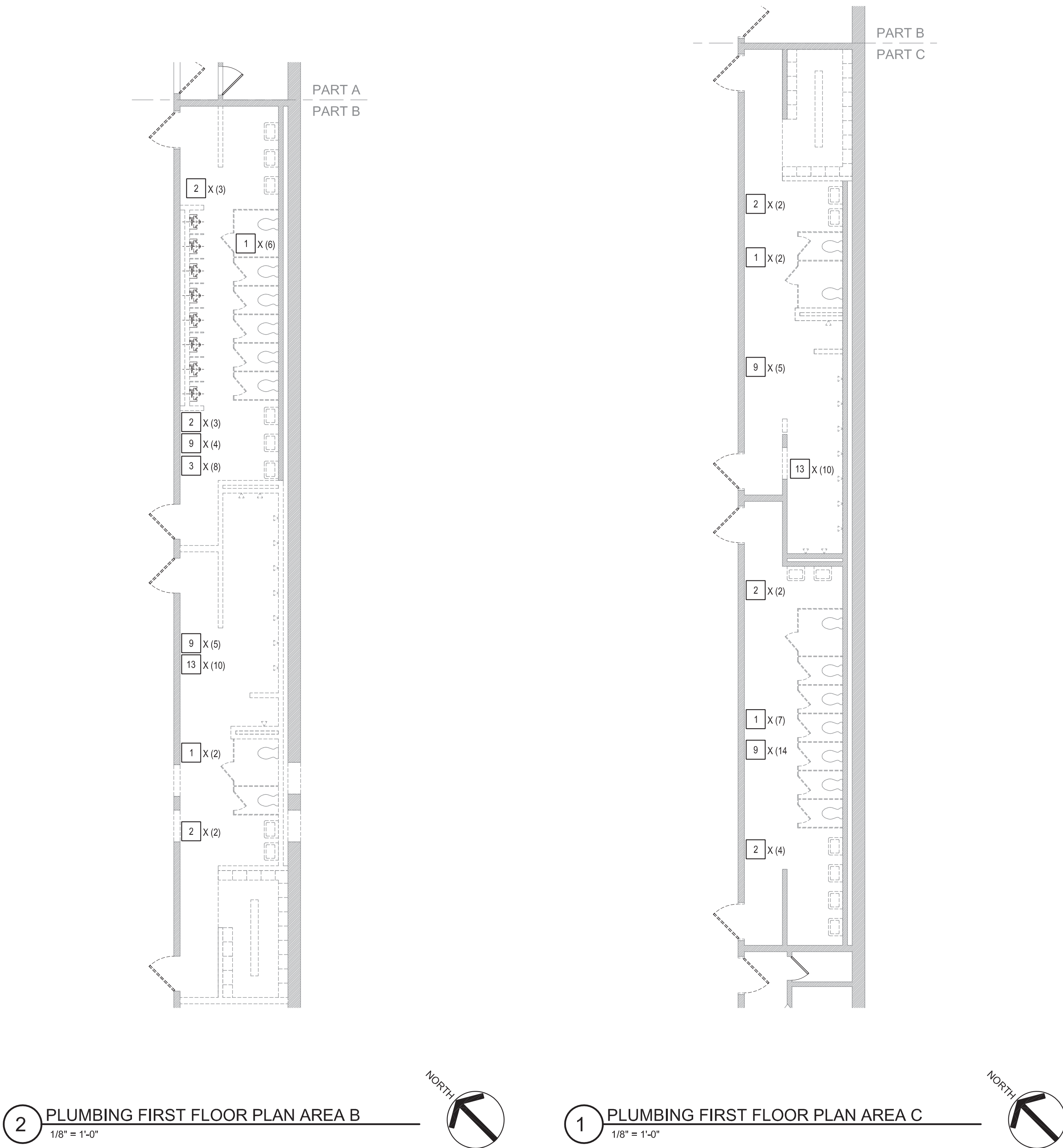
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A-107  
JBW/MASTEN  
South Tower -  
Demolition & New  
Work Plans  
3.29.2019  
Design Development



KEYED DRAWING NOTES: #

1. REMOVE WATER CLOSET, 4" SAN., 2" V. & 1" C. BRANCH PIPING BACK TO MAINS.
2. REMOVE LAVATORY, CARRIER, 1½" SAN., 1½" V. & ½" C. BRANCH PIPING BACK TO MAINS.
3. REMOVE URINAL, 2" SAN., 2" V. & ½" C. PIPING BACK TO MAINS.
4. REMOVE RPZ AND 2" PIPING BACK TO FLOOR AND CAP 2" C. ABOVE FLOOR.
5. REMOVE GREASE TRAP AND 2" SAN. PIPING TO SINK DRAIN.
6. EXISTING 2" G PIPING TO REMAIN.
7. EXISTING 3 BASIN STAINLESS STEEL SINK TO REMAIN. REMOVE FAUCETS AND DRAINS. DISCONNECT AND REMOVE SINK FROM WALL.
8. REMOVE WATER HEATER.
9. REMOVE FLOOR DRAIN AND TRAP.

BUILDINGS TO BE RENOVATED

WATER AND SANITARY SEWERS: EXCAVATE DOWN AT THE EXTERIOR OF BUILDING AND SAW CUT AND DISCONNECT SANITARY SEWER AND DOMESTIC WATER SERVICE PIPING. SANITARY SEWER AND WATER SERVICE SHALL BE REMOVED OR ABANDONED IN PLACE BELOW GRADE. SERVICES SHALL BE CAPPED OR PLUGGED AT THE ENDS AND MARKED AS "ABANDONED IN PLACE". EXISTING SANITARY SEWERS SHALL BE REMOVED BELOW THE FLOOR SLAB. NEW SCHEDULE 40 SOLID CORE PVC SANITARY SEWERS SHALL BE PROVIDED BELOW THE FLOOR SLAB AND EXTENDED TO THE NEAREST SANITARY SITE MANHOLE. A NEW TYPE L COPPER OR DUCTILE IRON WATER SERVICE SHALL BE EXTENDED FROM THE CITY STREET MAIN TO THE BUILDING. THE WATER SERVICE SHALL ENTER THE BUILDING INSIDE THROUGH THE FOUNDATION WALL AND FLOOR SLAB AND BE LOCATED NEAR AN EXTERIOR WALL. FLOORS WILL BE SAW CUT TO PERMIT THE EXCAVATION REMOVAL AND REPLACEMENT OF EXISTING PIPING BELOW THE FLOOR SLAB. FLOORS WILL BE REPLACED AND TO MATCH EXISTING SURFACES.

EXISTING WATER METER PITS: METERS INSIDE STRUCTURES BELOW GRADE SHALL BE REMOVED AND A SPOOL PIECE PIPE SECTION WITH INSTALLED IN THE EXISTING PIT IN PLACE OF THE METER SET. AN INVESTIGATION OF THE EXISTING METER SHALL BE CONDUCTED JOINTLY WITH CITY OF BUFFALO PARKS PERSONNEL TO ASSESS IT FOR SALVAGE VALUE FOR REUSE AT OTHER SITES.

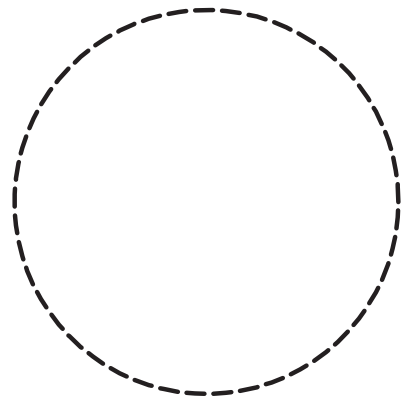
GAS SERVICE: COORDINATE WITH NATIONAL FUEL FOR THE REMOVAL OF GAS METER SET. ANY REMOVAL OF BELOW GRADE PIPING SHALL BE AS PER NATIONAL FUELS DISCRETION. A NEW METER SET AND SERVICE SIZED TO MATCH ANY BUILDING EQUIPMENT LOADS WILL BE PROVIDED BY NATIONAL FUEL. SCHEDULE 40 STEEL GAS PIPE EXTENDED TO ANY WATER HEATING, KITCHEN OR BUILDING HEATING EQUIPMENT INSIDE.

AN INVESTIGATION OF ALL EXISTING PLUMBING FIXTURES, WATER HEATERS AND SAFETY DEVICES SUCH AS EYEWASHES SHALL BE CONDUCTED JOINTLY WITH CITY OF BUFFALO PARKS PERSONNEL TO ASSESS SALVAGE VALUE FOR REUSE AT OTHER SITES. DISCONNECT AND REMOVE ANY FIXTURES AS REQUESTED BY THE CITY OF BUFFALO PARKS. SALVAGED EQUIPMENT SHALL BE REMOVED BY PARKS PERSONNEL OFF-SITE PRIOR TO THE DEMOLITION OF THE STRUCTURE. NEW PLUMBING FIXTURES INCLUDING WATER CLOSETS, URINALS, LAVATORIES, SINKS, MOP SERVICE SINKS, AND SHOWERS IF REQUIRED WILL BE PROVIDED. PLUMBING SPECIALTIES INCLUDING FLOOR DRAINS, FLOOR CLEANOUTS, GREASE INTERCEPTORS, WATER HAMMER ARRESTORS AND WALLS HYDRANTS WILL BE PROVIDED. ELECTRIC OR GAS WATER HEATERS SIZED TO SERVE THE FIXTURE AND EQUIPMENT LOADS WILL BE PROVIDED. REQUIRED SAFETY DEVICES SUCH AS EYEWASHES WILL BE PROVIDED FOR BUILDINGS INCLUDING KITCHENS OR WATER TREATMENT EQUIPMENT FOR SWIMMING POOLS.

WATER SERVICE ENTRANCE: COORDINATE WITH THE CITY OF BUFFALO PARKS FOR THE DISCONNECTION AND REMOVAL OF THE BUILDING WATER SUPPLY, WATER METER, ANY SUB-METERS AND ALL BACKFLOW PREVENTION DEVICES. THE METERS AND BACKFLOW PREVENTION DEVICES SHALL BE JOINTLY CONDUCTED FOR SALVAGE VALUE AND REUSE AT OTHER SITES BY BUFFALO PARKS PERSONNEL AND THE CONTRACTOR. THE WATER METERS AND BACKFLOW PREVENTION DEVICES SALVAGED SHALL BE REMOVED BY BUFFALO PARKS PERSONNEL OFF-SITE PRIOR TO THE DEMOLITION OF THE STRUCTURE. A NEW METER SET WILL BE LOCATED AS PART OF A NEW WATER SERVICE ENTRANCE IN THE INTERIOR OF THE BUILDING, INSTALLED ADJACENT TO AN EXTERIOR WALL AND FITTED WITH A REDUCED PRESSURE ZONE BACKFLOW DEVICE. A WATER SUPPLY AND METER COMPLYING WITH THE CITY OF BUFFALO DIVISION OF WATER REQUIREMENTS WILL BE PROVIDED. A REDUCED PRESSURE ZONE BACKFLOW PREVENTION DEVICE WILL BE PROVIDED DOWNSTREAM OF THE METER ON THE DOMESTIC WATER SERVICE AND IN COMPLIANCE WITH THE CITY OF BUFFALO AND NEW YORK STATE HEALTH DEPARTMENT CODE REQUIREMENTS.

APPLICATIONS FOR ALL UTILITY SERVICES WILL BE REQUIRED TO THE RESPECTIVE UTILITIES FOR THE GAS, ELECTRIC, WATER SERVICE, DOMESTIC WATER BACKFLOW PREVENTION AND SANITARY SEWER SYSTEMS. APPLICATIONS AND DESIGN SUBMISSIONS MUST INCLUDE CAPACITIES AND DEMONSTRATION OF CODE COMPLIANCES. APPLICATIONS INCLUDE THE ADDED DISCHARGE CAPACITY TO THE CITY SANITARY SEWER SYSTEM, WATER SERVICES AND GAS INCLUDE DESIGN SUBMISSIONS FOR APPROVAL, TAPPING PERMITS BY CONTRACTORS AND FINAL INSPECTION APPROVALS.

THE CONTRACTOR SHALL PROVIDE FOR THE COORDINATION AND THE TIMING OF UTILITY REMOVALS AND REPLACEMENTS WITH UTILITY AGENCIES. THE CONTRACTOR SHALL PROVIDE FOR CONTACT, APPLICATION AND ALL COST ASSOCIATED WITH REMOVAL WORK AND COMPLETE THE WORK IN COMPLIANCE WITH EACH AGENCIES WRITTEN REQUIREMENTS. CONTACTS SHALL INCLUDE THE BUFFALO DIVISION OF WATER, BUFFALO SEWER AUTHORITY AND NATIONAL FUEL.



Drawn By:	MPC
Checked By:	MJS
Project Manager:	RCP

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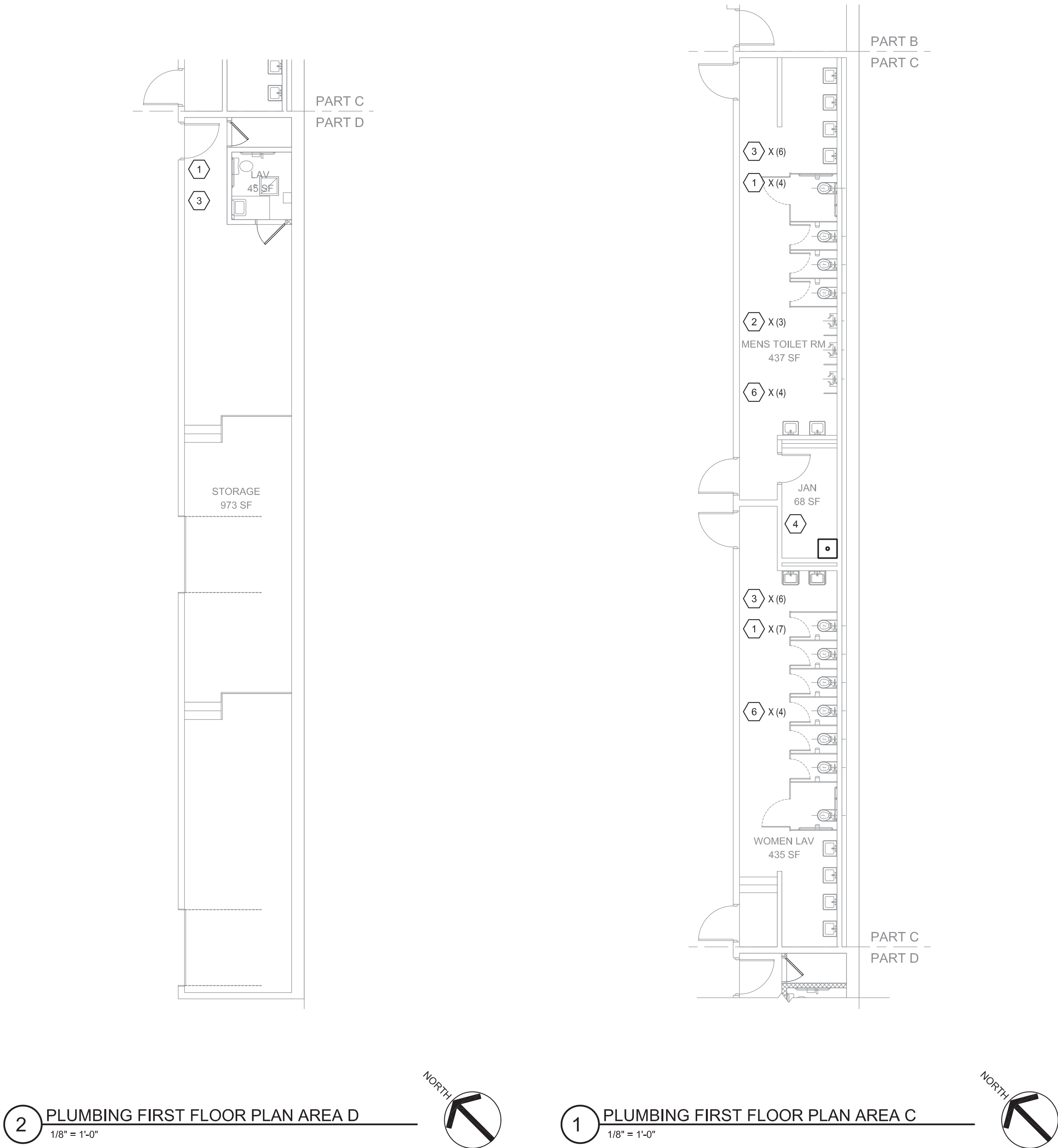
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PD-101

JBW Masten  
PLUMBING FIRST  
FLOOR PLAN AREA  
B - DEMOLITION

3.29.2019  
Design Development



#### KEYED NOTES

1. PROVIDE WALL MOUNTED WATER CLOSET. PROVIDE 1" C., 2" V. & 4" SAN. BRANCH PIPING.
2. PROVIDE URINAL. PROVIDE 1/2" C., 2" V. & 2" SAN. PIPING.
3. PROVIDE LAVATORY. PROVIDE 1/2" C., 1/2" H., 1/2" V. & 1/2" SAN. PIPING.
4. PROVIDE MOP SERVICE SINK AND ALL 1/2" C., 1/2" H., 1-1/2" SAN BRANCH PIPING.
5. PROVIDE FLOOR DRAIN WITH DEEP SEAL TRAP, TRAP PRIMER, 4" SAN., 2" V. & 1/2" C PIPING. EXTEND 1/2" C. TO COLD WATER TRAP PRIMER.
6. GAS METER BY NATIONAL FUEL TO REMAIN.
7. PROVIDE 2" REDUCED PRESSURE ZONE BACKFLOW PREVENTION DEVICE.
8. PROVIDE 2" DOMESTIC WATER METER WITH INTEGRAL STRAINER IN COMPLIANCE WITH BUFFALO DIVISION OF WATER REQUIREMENTS.
9. PROVIDE PEDESTAL EMERGENCY EYEWASH WITH 1/2" C. AND 1/2" H. TO MIXING VALVE AND 1/2" SAN. REFER TO 12P1-3
10. EXISTING SANITARY TO REMAIN.

#### BUILDINGS TO BE DEMOLISHED AND REPLACED WITH A NEW BUILDING

WATER AND SANITARY SEWERS: EXCAVATE DOWN AT THE EXTERIOR OF BUILDING AND SAW CUT AND DISCONNECT SANITARY SEWER AND DOMESTIC WATER SERVICE PIPING. SANITARY SEWER AND WATER SERVICE SHALL BE REMOVED OR ABANDONED IN PLACE BELOW GRADE. SERVICES SHALL BE CAPPED OR PLUGGED AT THE ENDS AND MARKED AS "ABANDONED IN PLACE". NEW SCHEDULE 40 SOLID CORE PVC SANITARY SEWERS SHALL BE PROVIDED BELOW THE FLOOR SLAB AND EXTENDED TO THE NEAREST SANITARY SITE MANHOLE. A NEW TYPE L COPPER OR DUCTILE IRON WATER SERVICE SHALL BE EXTENDED FROM THE CITY STREET MAIN TO THE BUILDING. THE WATER SERVICE SHALL ENTER THE BUILDING THROUGH THE FOUNDATION WALL AND FLOOR SLAB AND BE LOCATED INSIDE NEAR AN EXTERIOR WALL.

EXISTING WATER METER PITS: METERS INSIDE STRUCTURES BELOW GRADE SHALL BE REMOVED. AN INVESTIGATION OF THE EXISTING METER SHALL BE CONDUCTED JOINTLY WITH CITY OF BUFFALO PARKS PERSONNEL TO ASSESS IT FOR SALVAGE VALUE FOR REUSE AT OTHER SITES. CONCRETE METER PITS SHALL BE REMOVED OR HAVE THE TOPS REMOVED AND REMAINING STRUCTURE ABANDONED IN PLACE BELOW GRADE.

GAS SERVICE: COORDINATE WITH NATIONAL FUEL FOR THE REMOVAL OF GAS METER SET. ANY REMOVAL OF BELOW GRADE PIPING SHALL BE AS PER NATIONAL FUELS DISCRETION. A NEW METER SET AND SERVICE SIZED TO MATCH ANY BUILDING EQUIPMENT LOADS WILL BE PROVIDED BY NATIONAL FUEL. SCHEDULE 40 STEEL GAS PIPE EXTENDED TO ANY WATER HEATING, KITCHEN OR BUILDING HEATING EQUIPMENT INSIDE.

AN INVESTIGATION OF ALL EXISTING PLUMBING FIXTURES, WATER HEATERS AND SAFETY DEVICES SUCH AS EYEWASHES SHALL BE CONDUCTED JOINTLY WITH CITY OF BUFFALO PARKS PERSONNEL TO ASSESS SALVAGE VALUE FOR REUSE AT OTHER SITES. DISCONNECT AND REMOVE ANY FIXTURES AS REQUESTED BY THE CITY OF BUFFALO PARKS. SALVAGED EQUIPMENT SHALL BE REMOVED BY PARKS PERSONNEL OFF-SITE PRIOR TO THE DEMOLITION OF THE STRUCTURE. NEW PLUMBING FIXTURES INCLUDING WATER CLOSETS, URINALS, LAVATORIES, SINKS, MOP SERVICE SINKS, AND SHOWERS IF REQUIRED WILL BE PROVIDED. PLUMBING SPECIALTIES INCLUDING FLOOR DRAINS, FLOOR CLEANOUTS, GREASE INTERCEPTORS, WATER HAMMER ARRESTORS AND WALLS HYDRANTS WILL BE PROVIDED. ELECTRIC OR GAS WATER HEATERS SIZED TO SERVE THE FIXTURE AND EQUIPMENT LOADS WILL BE PROVIDED. REQUIRED SAFETY DEVICES SUCH AS EYEWASHES WILL BE PROVIDED FOR BUILDINGS INCLUDING KITCHENS OR WATER TREATMENT EQUIPMENT FOR SWIMMING POOLS.

WATER SERVICE ENTRANCE: COORDINATE WITH THE CITY OF BUFFALO PARKS FOR THE DISCONNECTION AND REMOVAL OF THE BUILDING SERVICE SUPPLY, WATER METER, ANY SUB-METERS AND ALL BACKFLOW PREVENTION DEVICES. THE METERS AND BACKFLOW PREVENTION DEVICES SHALL BE JOINTLY CONDUCTED FOR SALVAGE VALUE AND REUSE AT OTHER SITES BY BUFFALO PARKS PERSONNEL AND THE CONTRACTOR. THE WATER METERS AND BACKFLOW PREVENTION DEVICES SALVAGED SHALL BE REMOVED BY BUFFALO PARKS PERSONNEL OFF-SITE PRIOR TO THE DEMOLITION OF THE STRUCTURE. A NEW WATER SERVICE SUPPLY WITH METER SET WILL BE LOCATED IN THE INTERIOR OF THE BUILDING, INSTALLED ADJACENT TO AN EXTERIOR WALL AND FITTED WITH A REDUCED PRESSURE ZONE BACKFLOW DEVICE. A WATER METER COMPLYING WITH THE CITY OF BUFFALO DIVISION OF WATER REQUIREMENTS WILL BE PROVIDED. A REDUCED PRESSURE ZONE BACKFLOW PREVENTION DEVICE WILL BE PROVIDED ON THE DOMESTIC WATER SERVICE AND IN COMPLIANCE WITH THE CITY OF BUFFALO DIVISION OF WATER AND NEW YORK STATE HEALTH DEPARTMENT CODE REQUIREMENTS.

THE CONTRACTOR SHALL PROVIDE FOR THE COORDINATION AND THE TIMING OF UTILITY REMOVALS WITH UTILITY AGENCIES. THE CONTRACTOR SHALL PROVIDE FOR CONTACT, APPLICATION AND ALL COST ASSOCIATED WITH REMOVAL WORK AND COMPLETE THE WORK IN COMPLIANCE WITH EACH AGENCIES WRITTEN REQUIREMENTS. CONTACTS SHALL INCLUDE THE BUFFALO DIVISION OF WATER, BUFFALO SEWER AUTHORITY AND NATIONAL FUEL.

APPLICATIONS FOR ALL UTILITY SERVICES WILL BE REQUIRED TO THE RESPECTIVE UTILITIES FOR THE GAS, ELECTRIC, WATER SERVICE, DOMESTIC WATER BACKFLOW PREVENTION AND SANITARY SEWER SYSTEMS. APPLICATIONS AND DESIGN SUBMISSIONS MUST INCLUDE CAPACITIES AND DEMONSTRATION OF CODE COMPLIANCES.

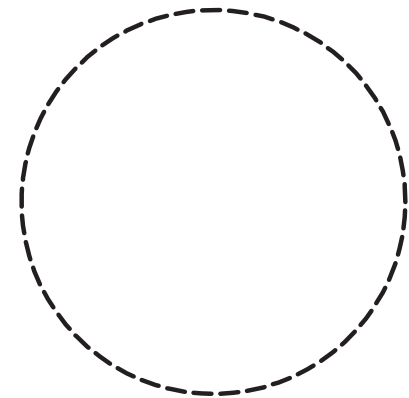
APPLICATIONS INCLUDE THE ADDED DISCHARGE CAPACITY TO THE CITY SANITARY SEWER SYSTEM, WATER SERVICES AND GAS INCLUDE DESIGN SUBMISSIONS FOR APPROVAL, TAPPING PERMITS BY CONTRACTORS AND FINAL INSPECTION APPROVALS.

ALL REMAINING ITEMS SHALL BE DEMOLISHED AND REMOVED FROM THE SITE AS PART OF THE GENERAL CONSTRUCTION DEMOLITION OF THE BUILDING.

387 East Main Street Rochester NY 14604  
585 232 8300 | rochester@watts.com



88 Perry Street, Suite 300  
Buffalo, New York 14203  
P: 716.262.2100 F: 716.262.6199



Drawn By: MPC  
Checked By: MJS  
Project Manager: RCP

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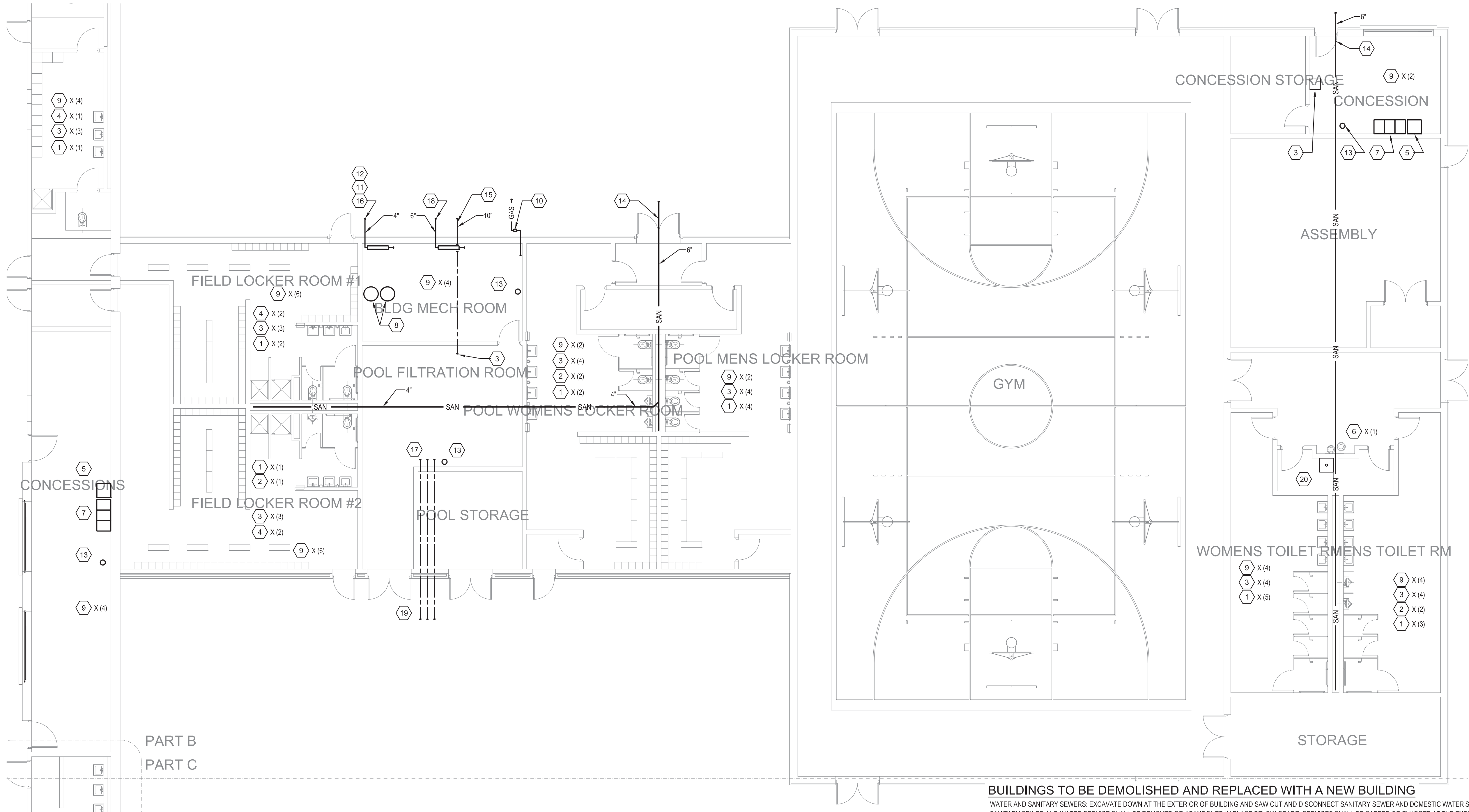
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## P-101

JBW Masten  
**PLUMBING FIRST  
FLOOR PLAN AREA  
B - C & D**

3.29.2019  
Design Development



1 PLUMBING FIRST FLOOR PLAN AREA B  
1/8" = 1'-0"

KEYED NOTES #

1. PROVIDE WALL MOUNTED WATER CLOSET. PROVIDE 1" C., 2" V. & 4" SAN. BRANCH PIPING.
2. PROVIDE URINAL. PROVIDE 3/4" C., 2" V. & 2" SAN. PIPING.
3. PROVIDE LAVATORY. PROVIDE 3/4" C., 1/2" H., 1/2" V. & 1/2" SAN. PIPING.
4. PROVIDE SHOWER VALVE. 1/2" C., 1/2" H. PIPING. SHOWER WALLS AND FLOOR SHALL BE PART OF GENERAL CONSTRUCTION. PROVIDE 2" SAN AND 1-1/2" V. PIPING.
5. PROVIDE 70 LBS. CAPACITY GREASE INTERCEPTOR AND FLOW CONTROL DEVICE.
6. PROVIDE ADA WATER COOLER BOTTLE FILLER STATION.
7. 3-BASIN STAINLESS STEEL SINK AGAINST WALL.
8. PROVIDE PARALLEL DIRECT VENT HIGH EFFICIENCY GAS FIRED WATER HEATERS.
9. PROVIDE FLOOR DRAIN WITH DEEP SEAL TRAP, TRAP PRIMER, 4" SAN, 2" V. & 1/2" C PIPING. EXTEND 1/2" C. TO COLD WATER TRAP PRIMER.
10. GAS METER AND SERVICE BY NATIONAL FUEL 2 M METER SET. (BEST STREET).
11. PROVIDE PARALLEL 4" REDUCED PRESSURE ZONE BACKFLOW PREVENTION DEVICE.
12. PROVIDE 4" DOMESTIC WATER METER WITH INTEGRAL STRAINER IN COMPLIANCE WITH BUFFALO DIVISION OF WATER REQUIREMENTS.
13. PROVIDE PEDESTAL EMERGENCY EYEWASH WITH 1/2" C. AND 1/2" H. TO MIXING VALVE AND 1/2" SAN.
14. 6" SANITARY TO STREET OR SITE MANHOLE.
15. POOL EQUIPMENT BACKWASH TO SITE SANITARY SEWER. (BEST STREET).
16. 4" DUCTILE IRON WATER SERVICE (DOMESTIC). (BEST STREET).
17. POOL EQUIPMENT ROOM TO INCLUDE PUMP, FILTRATION AND TREATMENT.
18. 6" DUCTILE IRON WATER SERVICE (FIRE PROTECTION SPRINKLERS). (BEST STREET).
19. PIPING BETWEEN POOL AND POOL EQUIPMENT ROOM.
20. PROVIDE MOP SERVICE SINK.

SERVING KITCHEN IN CONCESSIONS

SERVING KITCHENS ARE LIMITED TO "SERVING USE" WHERE THE USERS BRING THEIR OWN FOOD, MATERIALS AND UTENSILS AND LEAVE THE SITE WITH THEIR MATERIALS. ITEMS PROVIDED IN THE BUILDING ARE LIMITED TO COUNTERS AND SINKS FOR CLEANUP TO INCLUDE A 3-BASIN SINK MINIMUM. 3-BASIN SINKS REQUIRE A GREASE INTERCEPTOR DEVICE PER THE INTERNATIONAL PLUMBING CODE, CITY OF BUFFALO PLUMBING DEPARTMENT AND HEALTH CODES.

ADDITIONAL "SERVING KITCHEN" ITEMS INCLUDE PROVIDING WORKTABLES, COUNTERS, SOME CASEWORK FOR STORAGE AND A SINK FOR HAND WASHING.

BUILDINGS TO BE DEMOLISHED AND REPLACED WITH A NEW BUILDING

WATER AND SANITARY SEWERS: EXCAVATE DOWN AT THE EXTERIOR OF BUILDING AND SAW CUT AND DISCONNECT SANITARY SEWER AND DOMESTIC WATER SERVICE PIPING. SANITARY SEWER AND WATER SERVICE SHALL BE REMOVED OR ABANDONED IN PLACE BELOW GRADE. SERVICES SHALL BE CAPPED OR PLUGGED AT THE ENDS AND MARKED AS "ABANDONED IN PLACE". NEW SCHEDULE 40 SOLID CORE PVC SANITARY SEWERS SHALL BE PROVIDED BELOW THE FLOOR SLAB AND EXTENDED TO THE NEAREST SANITARY SITE MANHOLE. A NEW TYPE L COPPER OR DUCTILE IRON WATER SERVICE SHALL BE EXTENDED FROM THE CITY STREET MAIN TO THE BUILDING. THE WATER SERVICE SHALL ENTER THE BUILDING THROUGH THE FOUNDATION WALL AND FLOOR SLAB AND BE LOCATED INSIDE NEAR AN EXTERIOR WALL.

EXISTING WATER METER PITS: METERS INSIDE STRUCTURES BELOW GRADE SHALL BE REMOVED. AN INVESTIGATION OF THE EXISTING METER SHALL BE CONDUCTED JOINTLY WITH CITY OF BUFFALO PARKS PERSONNEL TO ASSESS IT FOR SALVAGE VALUE FOR REUSE AT OTHER SITES. CONCRETE METER PITS SHALL BE REMOVED OR HAVE THE TOPS REMOVED AND REMAINING STRUCTURE ABANDONED IN PLACE BELOW GRADE.

GAS SERVICE: COORDINATE WITH NATIONAL FUEL FOR THE REMOVAL OF GAS METER SET. ANY REMOVAL OF BELOW GRADE PIPING SHALL BE AS PER NATIONAL FUELS DISCRETION. A NEW METER SET AND SERVICE SIZED TO MATCH ANY BUILDING EQUIPMENT LOADS WILL BE PROVIDED BY NATIONAL FUEL. SCHEDULE 40 STEEL GAS PIPE EXTENDED TO ANY WATER HEATING, KITCHEN OR BUILDING HEATING EQUIPMENT INSIDE.

AN INVESTIGATION OF ALL EXISTING PLUMBING FIXTURES, WATER HEATERS AND SAFETY DEVICES SUCH AS EYEWASHES SHALL BE CONDUCTED JOINTLY WITH CITY OF BUFFALO PARKS PERSONNEL TO ASSESS SALVAGE VALUE FOR REUSE AT OTHER SITES. DISCONNECT AND REMOVE ANY FIXTURES AS REQUESTED BY THE CITY OF BUFFALO PARKS. SALVAGED EQUIPMENT SHALL BE REMOVED BY PARKS PERSONNEL OFF-SITE PRIOR TO THE DEMOLITION OF THE STRUCTURE. NEW PLUMBING FIXTURES INCLUDING WATER CLOSETS, URINALS, LAVATORIES, SINKS, MOP SERVICE SINKS, AND SHOWERS IF REQUIRED WILL BE PROVIDED. PLUMBING SPECIALTIES INCLUDING FLOOR DRAINS, FLOOR CLEANOUTS, GREASE INTERCEPTORS, WATER HAMMER ARRESTORS AND WALLS HYDRANTS WILL BE PROVIDED. ELECTRIC OR GAS WATER HEATERS SIZED TO SERVE THE FIXTURE AND EQUIPMENT LOADS WILL BE PROVIDED. REQUIRED SAFETY DEVICES SUCH AS EYEWASHES WILL BE PROVIDED FOR BUILDINGS INCLUDING KITCHENS OR WATER TREATMENT EQUIPMENT FOR SWIMMING POOLS.

WATER SERVICE ENTRANCE: COORDINATE WITH THE CITY OF BUFFALO PARKS FOR THE DISCONNECTION AND REMOVAL OF THE BUILDING SERVICE SUPPLY, WATER METER, ANY SUB-METERS AND ALL BACKFLOW PREVENTION DEVICES. THE METERS AND BACKFLOW PREVENTION DEVICES SHALL BE JOINTLY CONDUCTED FOR SALVAGE VALUE AND REUSE AT OTHER SITES BY BUFFALO PARKS PERSONNEL AND THE CONTRACTOR. THE WATER METERS AND BACKFLOW PREVENTION DEVICES SALVAGED SHALL BE REMOVED BY BUFFALO PARKS PERSONNEL OFF-SITE PRIOR TO THE DEMOLITION OF THE STRUCTURE. A NEW WATER SERVICE SUPPLY WITH METER SET WILL BE LOCATED IN THE INTERIOR OF THE BUILDING. INSTALLED ADJACENT TO AN EXTERIOR WALL AND FITTED WITH A REDUCED PRESSURE ZONE BACKFLOW DEVICE. A WATER METER COMPLYING WITH THE CITY OF BUFFALO DIVISION OF WATER REQUIREMENTS WILL BE PROVIDED. A REDUCED PRESSURE ZONE BACKFLOW PREVENTION DEVICE WILL BE PROVIDED ON THE DOMESTIC WATER SERVICE AND IN COMPLIANCE WITH THE CITY OF BUFFALO DIVISION OF WATER AND NEW YORK STATE HEALTH DEPARTMENT CODE REQUIREMENTS.

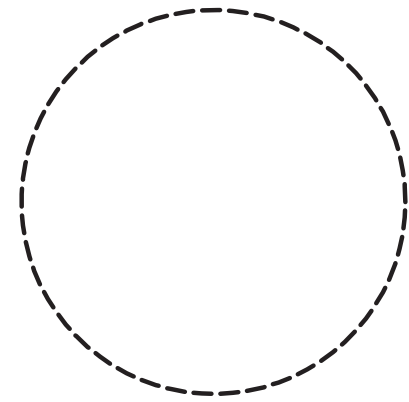
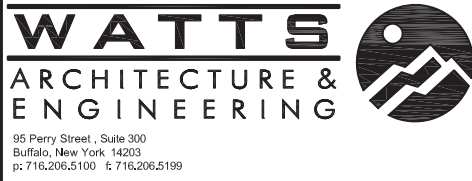
THE CONTRACTOR SHALL PROVIDE FOR THE COORDINATION AND THE TIMING OF UTILITY REMOVALS WITH UTILITY AGENCIES. THE CONTRACTOR SHALL PROVIDE FOR CONTACT, APPLICATION AND ALL COST ASSOCIATED WITH REMOVAL WORK AND COMPLETE THE WORK IN COMPLIANCE WITH EACH AGENCIES WRITTEN REQUIREMENTS. CONTACTS SHALL INCLUDE THE BUFFALO DIVISION OF WATER, BUFFALO SEWER AUTHORITY AND NATIONAL FUEL.

APPLICATIONS FOR ALL UTILITY SERVICES WILL BE REQUIRED TO THE RESPECTIVE UTILITIES FOR THE GAS, ELECTRIC, WATER SERVICE, DOMESTIC WATER BACKFLOW PREVENTION AND SANITARY SEWER SYSTEMS. APPLICATIONS AND DESIGN SUBMISSIONS MUST INCLUDE CAPACITIES AND DEMONSTRATION OF CODE COMPLIANCES.

APPLICATIONS INCLUDE THE ADDED DISCHARGE CAPACITY TO THE CITY SANITARY SEWER SYSTEM, WATER SERVICES AND GAS INCLUDE DESIGN SUBMISSIONS FOR APPROVAL, TAPPING PERMITS BY CONTRACTORS AND FINAL INSPECTION APPROVALS.

ALL REMAINING ITEMS SHALL BE DEMOLISHED AND REMOVED FROM THE SITE AS PART OF THE GENERAL CONSTRUCTION DEMOLITION OF THE BUILDING.

387 East Main Street Rochester NY 14604  
585 232 8300 | rochester@watts.com



Drawn By: MPC  
Checked By: MJS  
Project Manager: RCP

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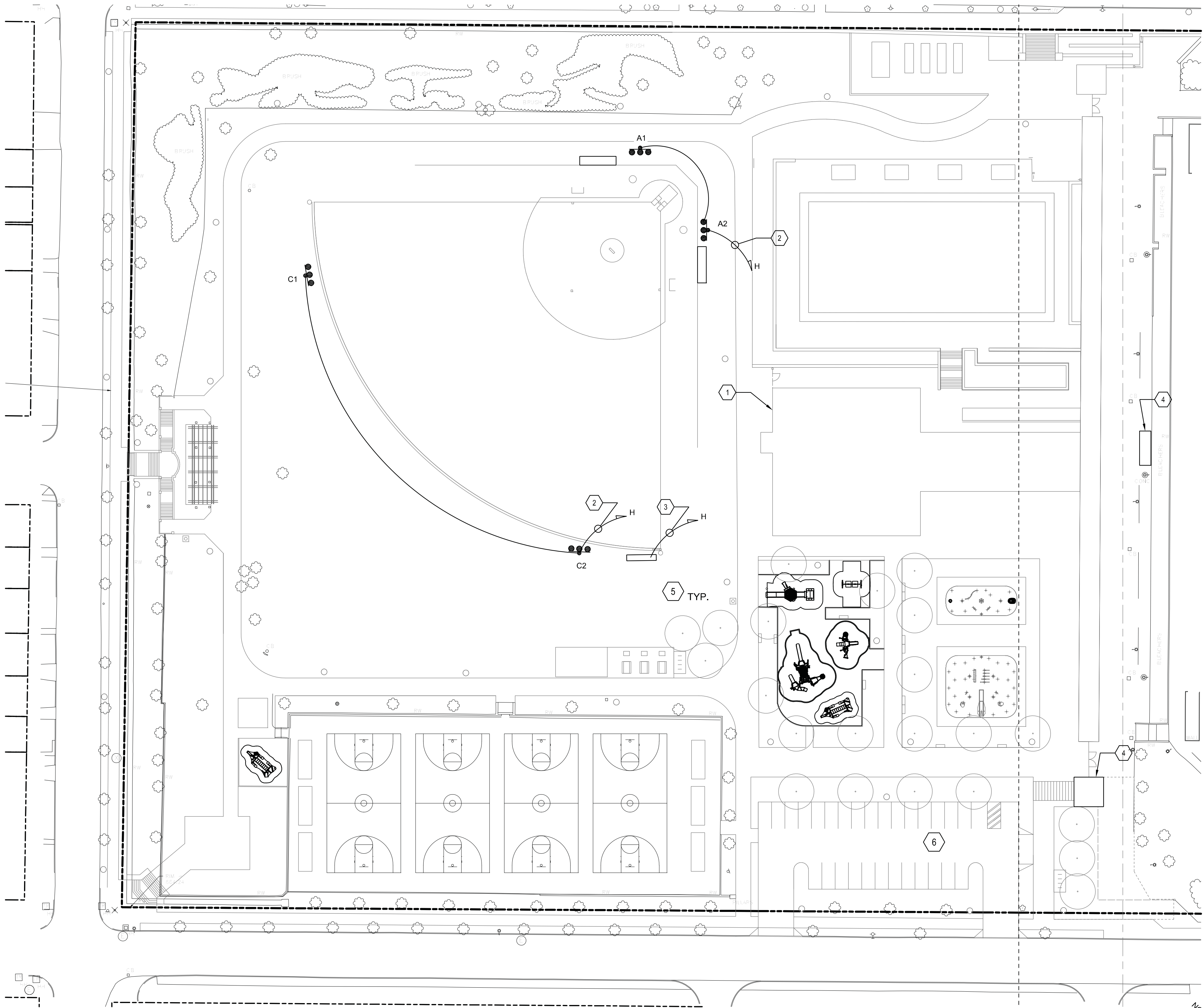
City of Buffalo Parks & Buffalo  
Public School Facilities Survey  
& Design Development  
SWBR Project Number 18630.00

Community Foundation for  
Greater Buffalo  
726 Exchange Street, Suite 525  
Buffalo, NY 14210

P-102

JBW Masten  
PLUMBING FIRST  
FLOOR PLAN AREA  
B

3.29.2019  
Design Development



LEGEND:

- FIELD LIGHTING
- PATHWAY LIGHTING
- ☼ LAMPPOLE TO REMAIN
- ▼ SECURITY CAMERA
- ▬ SCOREBOARD
- 3  
LLPB BRANCH CIRCUIT TO PANELBOARD. LETTERING INDICATES PANELBOARD DESIGNATIONS. QUANTITY OF ARROWHEADS INDICATE QUANTITY OF BRANCH CIRCUITS.

KEYED DRAWING NOTES: ⬢

1. PROVIDE 208V, 3 PHASE, 200 AMP PANEL 'H' TO BE USED FOR NEW FIELD LIGHTING.
2. PROVIDE 208V, 3 PHASE, 40 AMP CIRCUIT CONSISTING OF (3)#6 AWG CONDUCTORS WITH (1) #10 EQUIPMENT GROUNDING CONDUCTOR IN 1" CONDUIT. EACH LAMP POLE SHALL BE PROVIDED (1) CIRCUIT.
3. PROVIDE 2 POLE, 60 AMP NEMA 3R DISCONNECT SWITCH AND A CIRCUIT CONSISTING OF (2) #4 AWG CONDUCTORS WITH (1) #10 EQUIPMENT GROUNDING CONDUCTOR IN 1" CONDUIT TO PANEL 'H'.
4. PROVIDE 2 POLE, 60 AMP NEMA 3R DISCONNECT SWITCH AND A CIRCUIT CONSISTING OF (2) #6 AWG CONDUCTORS WITH (1) #10 EQUIPMENT GROUNDING CONDUCTOR IN 1" CONDUIT TO EXISTING PANEL IN CONCESSION BUILDING.
5. PROVIDE (2) #6 AWG CONDUCTORS & (1) #12 EGC IN 3/4" CONDUIT LOOPED TO EACH PATHWAY LIGHTING FIXTURE. PROVIDE HANDHOLE EVERY 350 FEET TO SUIT FIELD CONDITIONS.
6. PARKING LOT LIGHTS SHALL BE SAME AS PATHWAY LIGHTING FIXTURES MOUNTED ON 25 FOOT POLE. PROVIDE (2) #6 AWG CONDUCTORS & (1) #12 EGC IN 3/4" CONDUIT LOOPED TO EACH PARKING LOT FIXTURE.

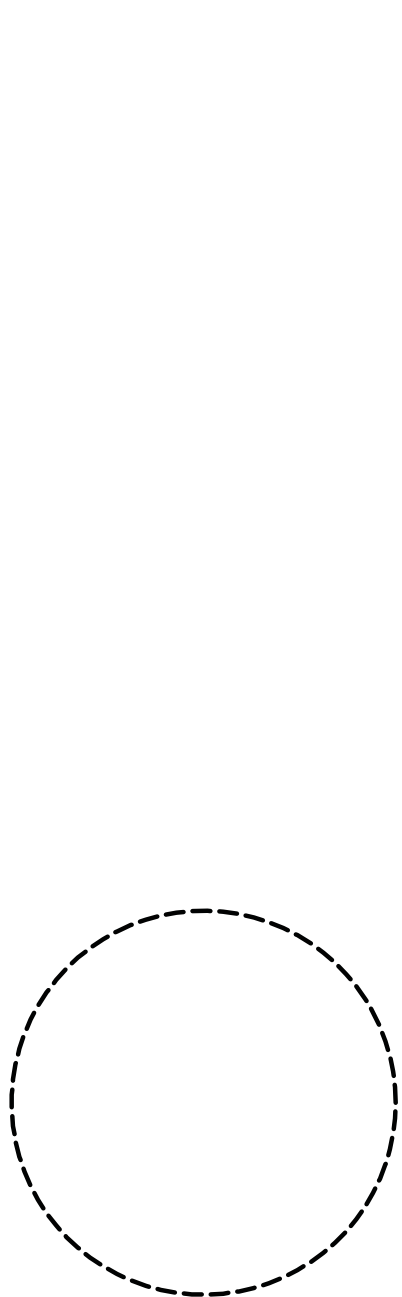
POLE SUMMARY			
POLES	TOTAL WATTS	# LUMS	MH
A1	3076	4	60
A2	3076	4	60
C1	4614	6	60
C2	4614	6	60
TOTAL	15380		

1 JBW MASTEN SITE ELECTRICAL PLAN  
1/4" = 1'-0"

**SWBR**

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**WATTS**  
ARCHITECTURE &  
ENGINEERING



Drawn By: RWL  
Checked By: MJS  
Project Manager: RCP

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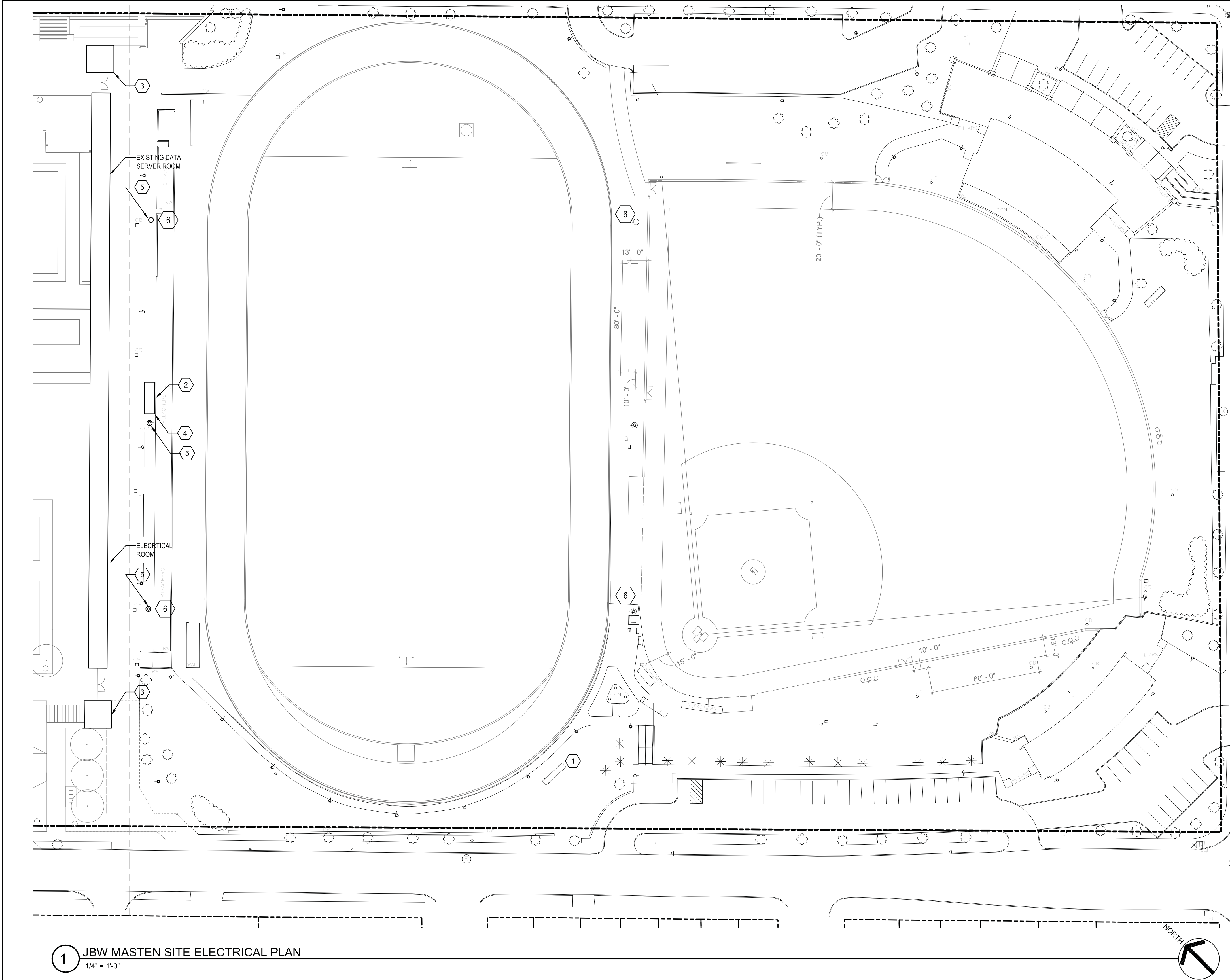
**E-101**

**JBW / Masten**  
ELECTRICAL SITE  
PLAN

3.29.2019  
Design Development Set

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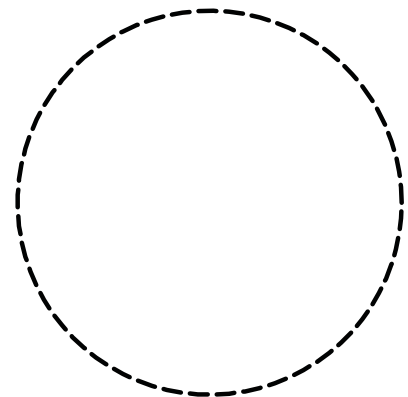
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KEYED DRAWING NOTES: ⑥

- PROVIDE 2 POLE, 60 AMP NEMA 3R DISCONNECT SWITCH AND A CIRCUIT CONSISTING OF (2) #4 AWG CONDUCTORS WITH (1) #10 EQUIPMENT GROUNDING CONDUCTOR IN 1" CONDUIT TO EXISTING ELECTRICAL ROOM.
- PROVIDE (2) 120V, 20 AMP CIRCUITS AND ONE (1) SPARE COMMUNICATION CONDUIT EXISTING DATA SPARE IN EXISTING BUILDING.
- PROVIDE 120V, 20 AMP CIRCUITS AND ONE (1) SPARE COMMUNICATION CONDUIT TO EXISTING SERVER ROOM.
- PROVIDE NEW PA SYSTEM.
- PROVIDE NEW POLE MOUNTED SPEAKER.
- RETROFIT EXISTING SPORTS POLE LIGHT FIXTURES WITH (9) NEW LED FIXTURES PER POLE.

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